



ADDENDUM

RFB-2022-19
RENOVATIONS TO: SCHENECTADY COB LOBBY
C2 DESIGN GROUP

ADDENDUM #1

Issued Date: 06/13/2022

The purpose of this addendum is to provide detailed information to all Bidders. This addendum is hereby included in and made part of the Contract Documents, whether or not attached thereto. Receipt of this Addendum must be acknowledged on the bid form.

CONTENTS/RESPONSE TO QUESTIONS/REFERENCE TO ATTACHMENTS

- **00-01-10 Table of Contents: Revisions for project Alternates (Add Alternate #4)**
- **00-02-00 Notice to Bidders: Revisions for Purchasing Department address change**
- **00-04-01 Bid Form: Revision of Contractors Bid form (Add Alternate #4)**
- **01-15-00 Master Project Schedule: Revisions of project schedule dates and for Purchasing Department address change.**
- **01-23-00 Alternates: Add Alternate #4 (New Security Desk)**
- **G100, G200, D100, A100, A600, A700, A800, A900, A901 Drawing revisions (Rev #01 - Add Alternate #4 & General)**
- **Existing drawings (3/14/1961) - for reference Only: Structural Steel Framing Plan – (Ground floor plan, First floor framing plan), Architectural Ground Floor Plan – (Key referenced Lobby area & Section 12-12).**
- **#RFB-2022-19 Pre-bid Walk through (5/24/2022): Attended Contractor list**

General Reference in Specifications: *(Change in Purchasing Department address:)*

*Purchasing Department County of Schenectady
Schenectady County Office Building
620 State Street - 2nd Floor
Schenectady, NY 12305
Phone: 518-388-4240*



ADDENDUM

General RFI's:

1. What is the height above the drop ceiling to the deck?
 - a. Response: Heights of existing conditions must be verified in field. See attached existing building reference drawings for additional information. (Note: Reference drawing may not document all current conditions.)
2. Is the deck concrete or steel? If steel, is it corrugated or flat? What are the existing steel sizes?
 - a. Response: Existing conditions must be verified in field. See attached existing building reference drawings for additional information. (Note: Reference drawing may not document all current conditions.)
3. Do the perimeter walls of the lobby extend up to the ceiling deck? Are there any pictures?
 - a. Response: The existing area above drop ceiling is contained in plastic wrap and was not accessible or removable for existing conditions verification by the design team. See attached existing building reference drawings for additional information. (Note: Reference drawing may not document all current conditions.)
4. Existing café door pair has mid rails and new Alt #1 doors do not show mid rails?
 - a. Response: New Alternate #1 Door will not have mid rails. Bottom door frame shall be 10" high. Other frame dimensions, finish and style to match existing.
5. Where is the proposed "Site Lay Down Area"?
 - a. Response: See Drawing G200 Addendum #1.
6. Is fencing required?
 - a. Response: Temporary (mobile) fencing required at public entrance and daily working areas.
7. Is a Project sign required?
 - a. Response: Yes, Per specifications

Please acknowledge this addendum on your bid form.

END OF ADDENDUM #1



Schenectady County Request for Bid
RENOVATIONS TO: SCHENECTADY COB LOBBY
RFB-2022-19
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DIVISION 02 – EXISTING CONDITIONS

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DIVISION 06 – WOOD, PLASTICS, AND COMPOSITES

06 10 53	Miscellaneous Rough Carpentry
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DIVISION 07 – THERMAL AND MOISTURE PROTECTION

07 81 00	Applied Fireproofing
07 92 00	Joint Sealants

DIVISION 09 – FINISHES

09 51 23	Acoustical Tile Ceilings
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DIVISION 12– FURNISHINGS

12 36 61	Simulated Stone Countertops
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VARIANCE PETITION

File No. 22-0330	Petition for an Asbestos Variance
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DRAWING LIST

Asbestos Abatement

AS101	Lobby Ceiling Asbestos Abatement Plan (02/17/2022)
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Architectural

G100	Cover Sheet
G101	General Notes
G102	General Notes
G200	Life Safety Plan
G201	Accessibility Details
D100	Ground Floor and Ceiling Demolition Plan
A100	Ground Floor Plan
A600	Millwork Details (Add Alternate#4)
A700	Interior Elevations
A800	Reflected Ceiling Plan
A900	Schedules
A901	Finish Schedule

END OF SECTION 00 01 10



Schenectady County Request for Bid
RENOVATIONS TO: SCHENECTADY COB LOBBY
RFB-2022-19
Notice to Bidders

NOTICE TO BIDDERS
RFB-2022-19
RENOVATIONS TO: SCHENECTADY COB LOBBY

The County of Schenectady will be accepting bids for Renovations to: Schenectady COB Lobby at 620 State Street, Schenectady, NY 12305. There will be one prime contract.

Digital copies of specifications may be obtained from BidNet Direct at www.bidnetdirect.com/new-york or by submitting a request to the Purchasing Department at purchasing@schenectadycounty.com. Paper copies may be picked up at the Purchasing Department, 2nd Floor, Schenectady County Office Building at 620 State Street, Schenectady, New York, 12305 between the hours of 9:00 A.M. and 4:00 P.M. weekdays, but must be requested via email 24 hours in advance.

A pre-bid walkthrough will be held on May 24, 2022 at 2:00 PM at the COB Lobby, 620 State Street, Schenectady NY. Those interested are asked to meet out front of the facility.

All proposals must be delivered in a sealed envelope marked "Bid" and stating **Project Name, Renovations to: Schenectady COB Lobby, RFB-2022-19**, to the Purchasing Agent, no later than June 23, 2022 at 2:00 PM at which time they will be opened.

Bid Security shall be submitted with each bid as described in General Instructions to Bidders.

Woman and minority owned businesses are encouraged to submit proposals. Schenectady County is an Equal Employment Opportunity/Affirmative Action employer.

Schenectady County will make any investigation it deems necessary to determine the responsibility of any bidder to perform the work. The County reserves the right to reject any bid if an investigation of the bidder fails to satisfy the county that the bidder is responsible and can carry out the obligations of the contract.

Schenectady County reserves the right to waive any informality in a bid or to reject any or all bids.

Purchasing Department
County of Schenectady
Schenectady County Office Building
620 State Street-2nd Floor
Schenectady, NY 12305
(518) 388-4240



Schenectady County Request for Bid
 RENOVATIONS TO: SCHENECTADY COB LOBBY
 RFB-2022-19

Bid Form: Contractor Bidder Name/Stamp: _____

Addendum #	Date

SCHENECTADY COB LOBBY – ASBESTOS ABATEMENT (BREAKOUT PRICING)

\$ _____
 ASBESTOS ABATEMENT (Work)

+

SCHENECTADY COB LOBBY – GENERAL CONSTRUCTION (BREAKOUT PRICING)

\$ _____
 GENERAL CONSTRUCTION (Work)

RENOVATIONS TO: SCHENECTADY COB LOBBY – TOTAL BID

\$ _____
 ASBESTOS ABATEMENT + GENERAL CONSTRUCTION = **TOTAL**

(WRITTEN AMOUNT)



Schenectady County Request for Bid
RENOVATIONS TO: SCHENECTADY COB LOBBY
RFB-2022-19

Bid Form: Contractor Bidder Name/Stamp: _____

Add Alternate: #1

Provide and install New Storefront Doors and hardware to replace Door 104 at Café. See contract documents for detailed scope of work.

\$ _____
ADD ALTERNATE: #1

(Add Alternate: #1 WRITTEN AMOUNT)

Add Alternate: #2

Furnish and install 3M film(3M) and 3Form(3F) 1/8" Varia Ecoresin ("Wenge") panel at Café storefront as per sheet A900.

\$ _____
ADD ALTERNATE: #2

(Add Alternate: #2 WRITTEN AMOUNT)

Add Alternate: #3

Furnish and install 3Form 1/8" Varia Ecoresin ("Wenge") panel at existing lobby storefront as per sheet A900.

\$ _____
ADD ALTERNATE: #3

(Add Alternate: #3 WRITTEN AMOUNT)



Schenectady County Request for Bid
RENOVATIONS TO: SCHENECTADY COB LOBBY
RFB-2022-19

Bid Form: Contractor Bidder Name/Stamp: _____

Add Alternate: #4

Provide and install New Security Desk as located, detailed, and noted in the contract documents.

\$ _____

ADD ALTERNATE: #4

(Add Alternate: #4 WRITTEN AMOUNT)

The following documents are attached to and made a part of this bid:

- a) Certified Copy of Resolution of Board of Directors
- b) Non-Collusion Bid Certification
- c) Iranian Divestment Form
- d) Disclosure of Prior Non-Responsibility Determinations
- e) Certification for the Prevention of Sexual Harassment
- f) Subcontractors Listing
- g) Bidder's Qualifications
- h) Apprenticeship Form (if required)
- i) MWBE Documents (if required)
- j) Bid Bond
- k) W-9

SECTION 01 15 00

MASTER PROJECT SCHEDULE

On site Walkthrough: Tuesday, May 24th, 2022 at 2:00am.

Submission of bid questions: On or before Thursday, June 16th, 2022 at 2:00pm.

Bid Due/Opening: Thursday, June 23rd at 2:00 PM, 2022 Schenectady Office Building 620 State Street, 2nd Floor.

Notice to Proceed: Friday, July 29h, 2022

Production of shop drawings: 2 weeks

Review of Shop drawings: 2 weeks

Total project Renovation work: 14 weeks

Substantial Completion: Friday, October 28th, 2022

Punch List Completion: (Date TBD) Prior to Substantial Completion

END OF PROJECT MASTER SCHEDULE 01 15 00

ALTERNATES
SECTION 01 23 00

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

Add Alternate #1: Provide and install New Storefront Doors and hardware to replace Door 104 (Café). See contract documents for detailed scope of work.

See drawings for detailed scope of work.

Add Alternate #2: Furnish and install 3M film(3M) and 3Form(3F) 1/8"Varia Ecoresin ("Wenge") panel at Café storefront as per sheet A900.

See drawings for detailed scope of work.

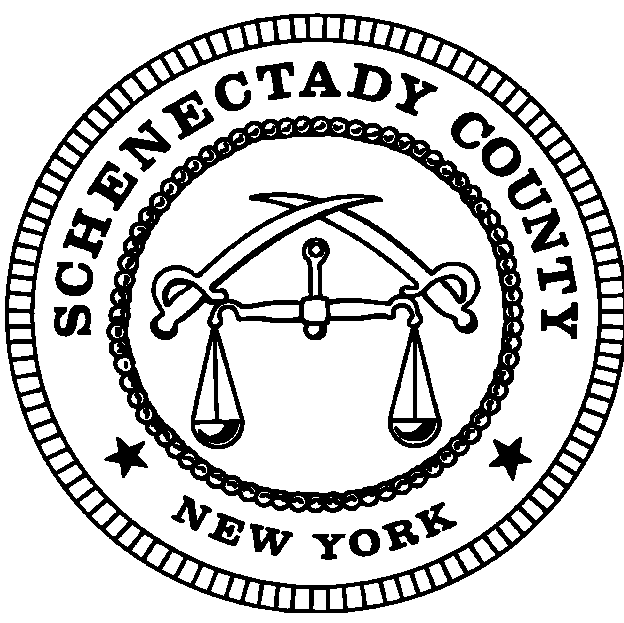
Add Alternate #3: Furnish and install 3Form 1/8" Varia Ecoresin ("Wenge") panel at existing lobby storefront as per sheet A900.

See drawings for detailed scope of work.

Add Alternate #4: Provide and install New Security Desk as located, detailed, and noted in the contract documents.

See drawings for full detailed scope of work.

END OF SECTION 01 23 00



RENOVATIONS TO: SCHENECTADY COB LOBBY

620 STATE STREET SCHENECTADY, NY
APRIL 27, 2022

ABBREVIATIONS

ACT ACoustical CEILING TILE	FDN FOUNDATION	PL PLASTIC LAMINATE
ADJ. ADJUSTABLE	F.F. FINISH FLOOR	PLAM PLASTIC LAMINATE
AFF ABOVE FINISH FLOOR	FIN. FINISH	PLT PLATE
ALUM. ALUMINUM	FT. FEET	PLF POUNDS PER LINEAR FT
ALT. ALTERNATE	FTG FOOTING	PLUMB. PLUMBING
APPROX APPROXIMATE	GWB GYPSUM WALL BOARD	POLY POLYETHYLENE
ARCH. ARCHITECT	GYP. GYPSUM	PSF POUNDS PER SQUARE FT
BLDG. BUILDING	H.B. HOSE BIB	PSI POUNDS PER SQUARE IN
B.O. BOTTOM OF	HC HANDICAP	PT PAINT
BOT. BOTTOM	HDW. HARDWARE	R. RISER
BR. BRICK	HDWD HARDWOOD	RB RUBBER BASE
BRG. BEARING	H.M. HOLLOW METAL	RCP REFLECTED CEILING PLAN
CAB. CABINET	HORIZ. HORIZONTAL	R.D. ROOF DRAIN
CB CATCH BASIN	HR. HOUR	REF. REFERENCE
CDX. C-D GRADE EXT. PLYWOOD	HT. HEIGHT	REINF. REINFORCING
CF. CUBIC FEET	HVAC HEAT, VENT AND AC	REQD. REQUIRED
C.H. CABINET HEATER	H.W. HOT WATER	REV. REVISION
CIR. CIRCUIT	H.W.T. HOT WATER TANK	R.L. ROOF LEADER
C.J. CONTROL JOINT	I.D. INSIDE DIAMETER	RM. ROOM
CL. CENTER LINE	I.E. INVERT ELEVATION	R.O. ROUGH OPENING
CLG. CEILING	IN. INCH(ES)	R.V. ROOF VENT
CLR. CLEAR	INSUL. INSULATION	SF. SQUARE FOOT
CMU CONCRETE MASONRY UNIT	INT. INTERIOR	SHT. SHEET
COL. COLUMN	INV. INVERT	SIM. SIMILAR
CONC. CONCRETE	JAN. JANITOR	SPEC. SPECIFICATIONS
CONST. CONSTRUCTION	JT. JOINT	SQ. SQUARE
CONT. CONTINUOUS	LAM. LAMINATED	S.S. STAINLESS STEEL
CONTR. CONTRACTOR	LAV. LAVATORY	ST. STAIN
COORD. COORDINATE	LOC. LOCATION	STL. STEEL
CPT. CARPET	M. METER	STRUCT. STRUCTURAL
CT. CERAMIC TILE	MANUF. MANUFACTURER	SUSP. SUSPENDED
C.W. COLD WATER	MAS. MASONRY	T. TREAD
DTL. DETAIL	MAT. MATERIAL	T.O. TOP OF
DIA. DIAMETER	MAX. MAXIMUM	THK. THICK
DIAG. DIAGONAL	MECH. MECHANICAL	THRU. THROUGH
DIM. DIMENSION	MED. MEDIUM	TYP. TYPICAL
DN. DOWN	MIN. MINIMUM	UNEX. UNEXCAVATED
DR. DOOR	MISC. MISCELLANEOUS	UNO. UNLESS NOTED
DWG. DRAWING(S)	M.O. MASONRY OPENING	OTHERWISE
EA. EACH	MTL. METAL	VAR. VARIES
E.J. EXPANSION JOINT	N.I.C. NOT IN CONTRACT	VB. VINYL BASE
ELEC. ELECTRICAL	NO. NUMBER	VCT. VINYL COMPOSITE TILE
EQ. EQUAL	NOM. NOMINAL	VERT. VERTICAL
EQUIP. EQUIPMENT	N.T.S. NOT TO SCALE	V.I.F. VERIFY IN FIELD
ETR. EXISTING TO REMAIN	O.A. OVERALL	VTR. VENT THRU ROOF
EXIST. EXISTING	O.C. ON CENTER	WB. WOOD BASE
EXP. EXPOSED	O.D. OUTSIDE DIAMETER	W.C. WATER CLOSET
EXT. EXTERIOR	OH. OVERHEAD	WD. WOOD
F.D. FLOOR DRAIN	O.H. OPPOSITE HAND	W.I.C. WALK IN CLOSET
	PCF POUNDS PER CUBIC FT	W.W.F. WELDED WIRE FABRIC

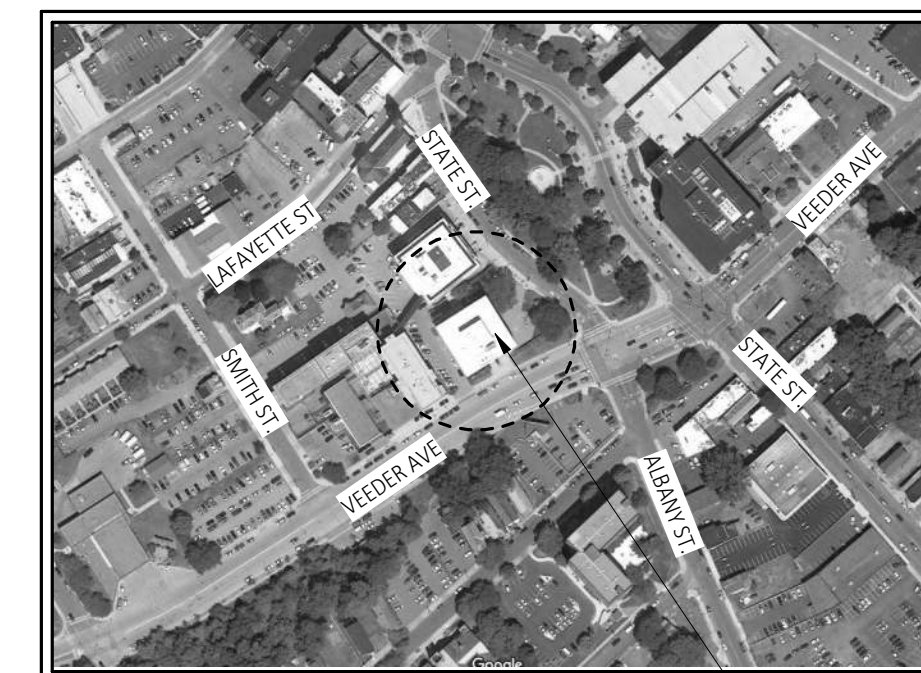
DRAWING SYMBOLS LEGEND

	WINDOW TAG: REFERENCE WINDOW SCHEDULE ON A900 FOR SIZE AND DETAIL		DEMOLITION TAG: REFERENCE PLANS AND GENERAL DEMOLITION NOTES
	ELEVATION TAG: DRAWING NUMBER (TOP NUMBER) SHEET NUMBER (BOTTOM NUMBER)		EQUIPMENT TAG: REFERENCE PLANS AND EQUIPMENT SCHEDULES
	INTERIOR ELEVATION TAG: DRAWING NUMBER (TOP NUMBER) REFERENCE SPECIFIED SHEET FOR DRAWING NUMBER		NOTE TAG: SEE ASSOCIATED LEGEND
	DOOR TAG: REFERENCE DOOR SCHEDULE ON A900 FOR SIZE AND DETAIL		FLOOR DRAIN (FD)
	WALL TYPE TAG: RATING REFERENCE WALL TYPES FOR WALL CONSTRUCTION		ROOF DRAIN (RD)
	ELEVATION MARKER: SPECIFIES THE VERTICAL HEIGHT AT A GIVEN LOCATION		EXISTING WALL TO REMAIN, TYP.
	PLAN DETAIL TAG: DRAWING NUMBER (TOP NUMBER) REFERENCE SPECIFIED SHEET FOR DRAWING (BOTTOM NUMBER)		EXISTING WALL TO BE REMOVED, TYP.
	SECTION DETAIL TAG: DRAWING NUMBER (TOP NUMBER) REFERENCE SPECIFIED SHEET FOR DRAWING (BOTTOM NUMBER)		NEW STUD WALL CONSTRUCTION
			NEW MASONRY WALL CONSTRUCTION
			EXISTING DOOR TO REMAIN, TYP.
			EXISTING DOOR TO BE REMOVED, TYP.

CONCEPT RENDERING



SITE LOCATION



PROJECT TEAM

ARCHITECT: C2 Architecture, PC 24 Airport Road Schenectady, NY 12302 T: 518.320.8250 F: 518.320.8252	OWNER: Schenectady County NY 620 State Street, Schenectady, NY 12305 T: 518.388.4242
ENGINEER: PSI - PROFESSIONAL SERVICE INDUSTRIES, INC. 104 ERIE BOULEVARD - SUITE 1 SCHENECTADY, NY 12305 T: 518.377.9841	

DRAWING LIST

Rev.	Sheet No.	Sheet Name
1	A100	Cover Sheet
1	A101	General Notes
1	A102	General Notes
1	A200	Life Safety Plan
1	A201	Accessibility Details
1	A100	Ground Floor Ceiling and Demolition Plan
1	A100	Ground Floor Plan
1	A600	Alternate #04 - Millwork Details
1	A700	Interior Elevations
1	A800	Reflected Ceiling Plan
1	A900	Schedules
1	A901	Finish Schedule
ASBESTOS ABATEMENT		
1	AS101	Lobby Ceiling Asbestos Abatement Plan

SCOPE OF WORK

THE SCOPE OF WORK TO INCLUDE A LEVEL II ALTERATION OF AN EXISTING LOBBY SPACE AT THE SCHENECTADY COUNTY OFFICE BUILDING. WORK TO INCLUDE RENOVATIONS TO THE EXISTING COUNTY OFFICE BUILDING (COB) LOBBY. ALSO INCLUDES ABATEMENT OF EXISTING ASBESTOS FIREPROOFING AT FLOOR STRUCTURE LOCATED UNDERSIDE OF FLOOR ABOVE LOBBY, REPLACEMENT OF FIREPROOFING, NEW LOBBY WALLS AND CEILING FINISHES, NEW LIGHTING, SECURITY ACCESS.

ALTERNATES (ADD)

- PROVIDE AND INSTALL NEW STOREFRONT DOORS AND HARDWARE TO REPLACE DOOR 104 (CAFE) SEE CONTRACT DOCUMENTS FOR DETAILED SCOPE OF WORK
- FURNISH AND INSTALL 3M FILM 3 FORM AT SAFE STOREFRONT AS PER SHEET A900
- ADD 3-FORM PANEL WITH 2" THICKNESS ADHERED TO EXISTING GLASS AT STOREFRONT
- PROVIDE AND INSTALL NEW SECURITY DESK, SEE DRAWINGS AND SPECIFICATIONS. SEE DRAWINGS FOR BASE BID INFORMATION

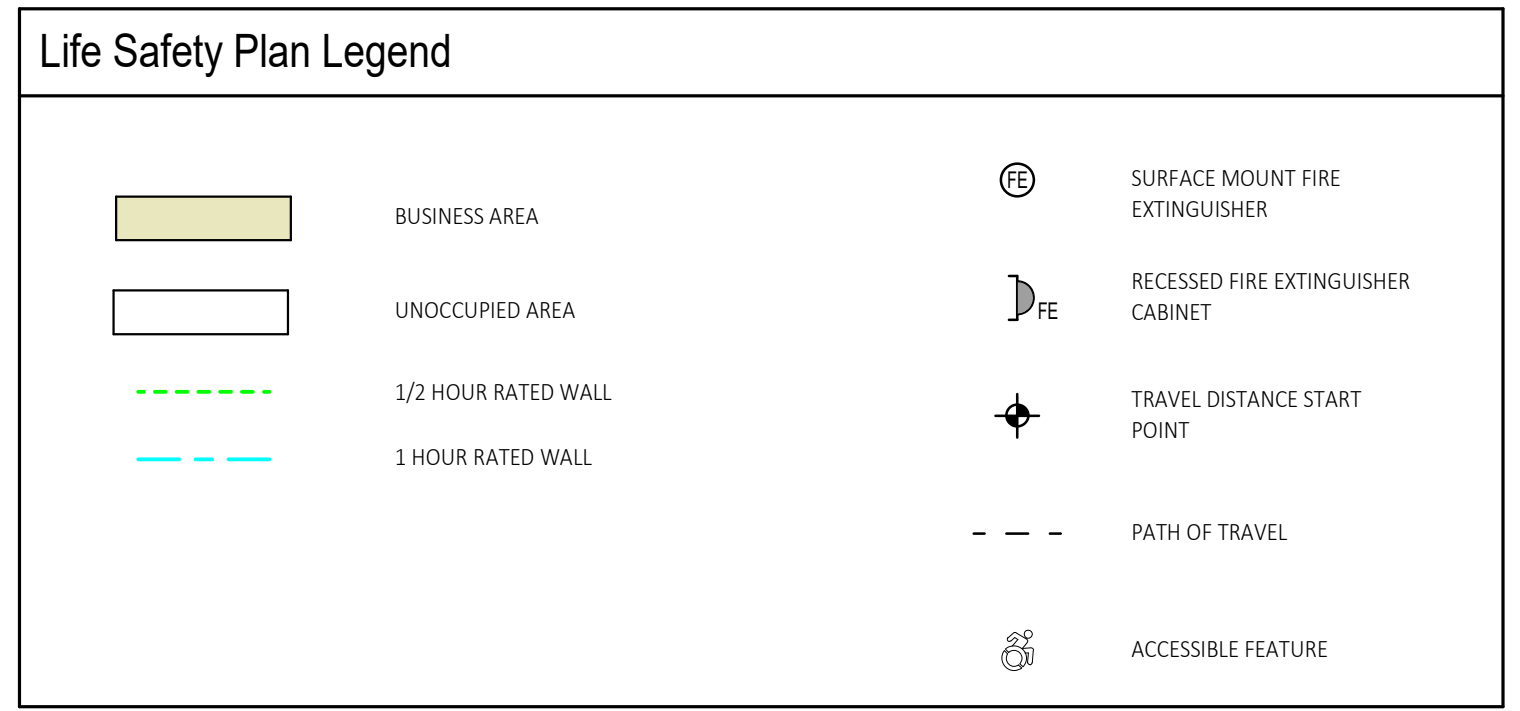
STAMP:

Bid Set (RFB # 2022-19)	
DATE:	05/13/2022
SUBMITTAL / REVISION	
County Coordination	
No.	1

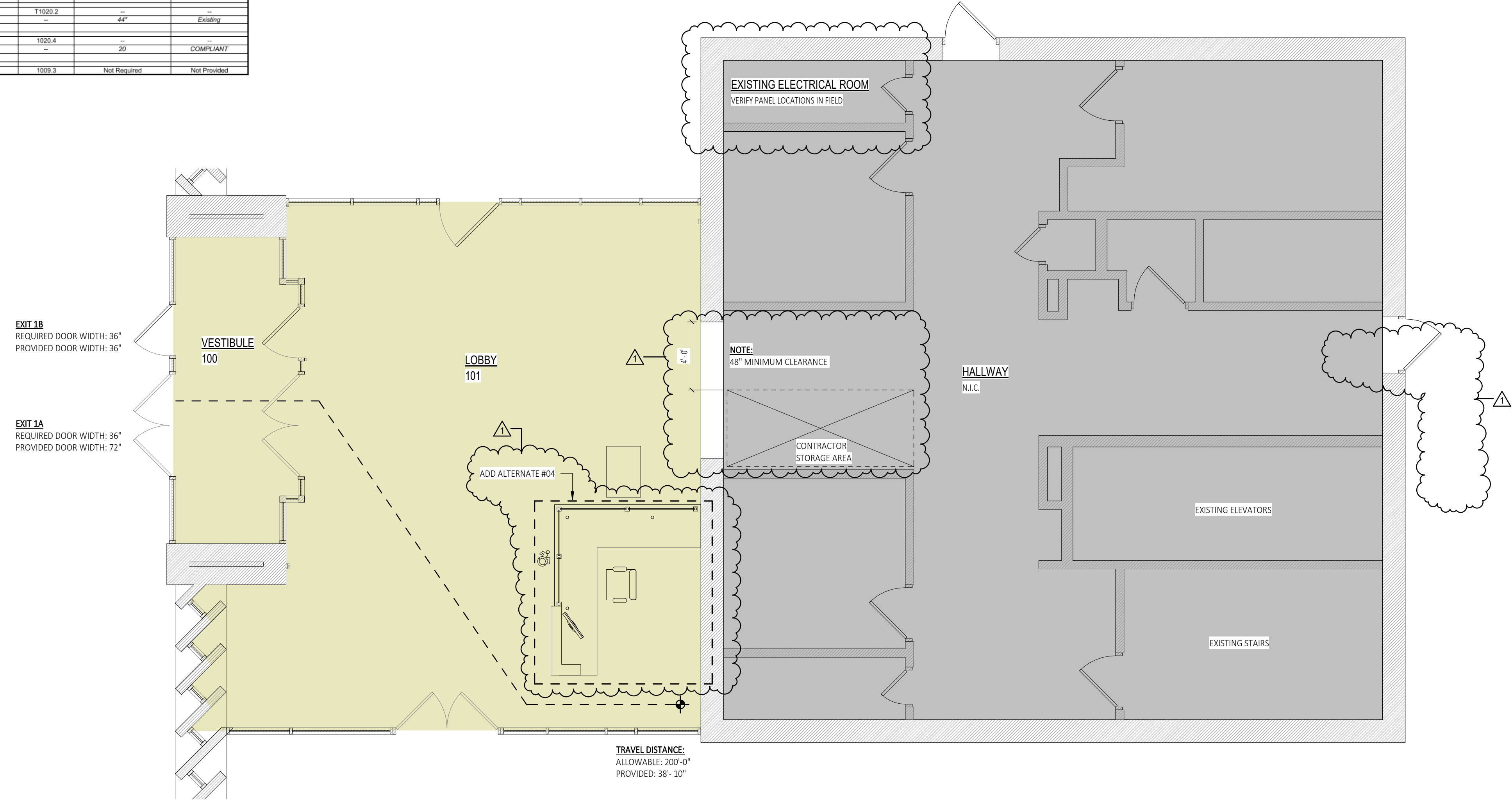
Cover Sheet
Renovations To:
Schenectady COB Lobby
Schenectady, NY
620 State Street

DRAWN BY:	C2 Architecture
DATE:	04/27/2022
SCALE:	AS NOTED
JOB NO:	2132
SHEET:	G100

PROJECT CODE REVIEW			
Project Name:	Schenectady County Office Building Lobby		
Project Location:	620 State St Schenectady, NY 12302		
Project Description:	LEVEL 1A ALTERATION RENOVATION TO EXISTING LOBBY SPACE		
Date of Review:	Tuesday, January 18, 2022		
APPLICABLE CODES			
2009 Building Code of New York State	---		
2009 Fire Code of New York State	---		
2009 Energy Conservation Construction Code of New York State	---		
2009 Mechanical Code of New York State	---		
2009 Plumbing Code of New York State	---		
2009 Existing Building Code of New York State	---		
2017 New York State Uniform Code Supplement	---		
2009 ANS/A17.1	---		
BUILDING HEIGHT AND AREA			
SECTION	REQUIRED/ALLOWABLE	PROPOSED	
Building Area	---	---	27,200
Area of Work	---	---	804
Construction Type	S04	---	Existing
Building Height	T504.3	---	Existing
No. Stories	T504.4	---	Existing
Occupancy Classification	---	---	---
Business (B)	B02	---	---
Separation of Occupancy	T508.4	---	---
Business (B) / Not Selected	---	N/A	N/A
FIRE PROTECTION			
SECTION	REQUIRED/ALLOWABLE	PROPOSED	
Sprinkler System	903	---	---
Business (B)	N/A	NOT REQUIRED	NOT PROVIDED
Fire Extinguisher Travel Distance	906.3.1	75 FT	Compliant
Fire Alarm	907	---	---
Business (B)	907.2.2	EXISTING	PROVIDED (EXISTING)
Carbon Monoxide Detection	915	---	---
Business (B)	915	REQUIRED	PROVIDED
OCCUPANCY			
SECTION	REQUIRED	PROPOSED	
Occupancy Load	1004	---	---
Business Areas	---	150 gross	7
		Total	7
EGRESS			
SECTION	REQUIRED	PROPOSED	
Egress Width	1005	---	---
Stairs	1005.3.1	0.2 x Occupant Load	Existing
Other Components	1005.3.2	0.15 x Occupant Load	Existing
No. of Exits	T1008.3.1	2	2 (EXISTING)
Travel Distance	1017	---	---
Business (B)	T1017.2	200	COMPLIANT
Corridor	1020	---	---
Fire Rating	F1020.1	---	---
Business (B)	---	1 Hour	Existing
Width	T1020.2	---	---
Business (B)	---	44"	Existing
Dead End	1020.4	---	---
Business (B)	---	20'	COMPLIANT
Area of Refuge	1029.3	Not Required	Not Provided



- ### Additional Code Provisions
- MARKING AND IDENTIFICATION:** FIRE-RESISTANCE RATED WALLS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. MARKING SHALL COMPLY WITH THE FOLLOWING:
 - 1.1. SHALL BE LOCATED IN ALL ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES.
 - 1.2. BE REPEATED AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION
 - 1.3. INCLUDE LETTERING NOT LESS THAN 0.5 INCH IN HEIGHT, INCORPORATING THE SUGGESTED WORDING: "FIRE BARRIER - PROTECT ALL OPENING"
 - THROUGH-PENETRATION FIRESTOP SYSTEM REQUIREMENTS:** THROUGH-PENETRATIONS OF FIRE-RESISTANCE RATED WALL ASSEMBLIES SHALL BE PROTECTED BY AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM, WITH AN F-RATING OF NOT LESS THAN 1-HOUR, INSTALLED AND TESTED IN ACCORDANCE WITH ASTM E 814-2006 or UL 1476-2003, WITH A MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH OF WATER.
 - THERMAL AND SOUND INSULATING MATERIALS:** ALL INSULATING MATERIALS SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84-2007 or UL 723-2003.
 - MODIFY EXISTING FIRE PROTECTION SYSTEM TO COMPLY WITH STATE AND LOCAL CODES/REGULATIONS. PROVIDE ENGINEER STAMPED DRAWINGS FOR COORDINATION, AND COUNTY REVIEW/APPROVALS AS REQUIRED BY THE LOCAL JURISDICTION. ENGINEER SHALL BE LICENSED IN THE STATE, TO WHICH THE WORK IS TO OCCUR. DRAWINGS SHALL BE FULLY COORDINATED WITH THE WORK. PROVIDE DRAWINGS FOR OWNER/ARCHITECT REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. ALL SPRINKLER HEADS IN ACT AND GWV CEILINGS SHALL BE CONCEALED HEADS, WITH COVER CAP TO MATCH THE CEILING IN WHICH THE SPRINKLER HEAD IS LOCATED
 - MODIFY EXISTING FIRE ALARM SYSTEM TO COMPLY WITH STATE AND LOCAL CODES/REGULATIONS. PROVIDE ENGINEER STAMPED DRAWINGS FOR COORDINATION AND COUNTY REVIEW/APPROVALS AS REQUIRED BY THE LOCAL JURISDICTION. ENGINEER SHALL BE LICENSED IN THE STATE TO WHICH THE WORK IS TO OCCUR.
 - FIRE EXTINGUISHERS SHALL BE MOUNTED 42" MAXIMUM A.F.F.
 - VERIFY IN FIELD OF LOCATION OF EXISTING KNOX BOX
 - COMBUSTIBLE MATERIAL SHALL BE PERMITTED IN BUILDINGS OF TYPE I OR TYPE II CONSTRUCTION PER 2020 NYSBC 603.1:
 - MILLWORK SUCH AS DOOR, S DOOR FRAMES, WINDOW SASHES AND FRAMES
 - INTERIOR WALL AND CEILING FINISHES INSTALLED PER IBC SECTIONS 801 & 803
 - TRIM INSTALLED IN ACCORDANCE WITH IBC 802
 - BLOCKING SUCH AS HANDRAILS, MILLWORK AND CABINETS
 - SPRAYED FIRE RESISTIVE MATERIALS
 - PLYWOOD SUBSTRATES SHALL BE FIRE TREATED.
 - VERIFY LOCATION OF EXISTING FIRE EXTINGUISHERS.



1 First Floor Life Safety Plan
SCALE: 1/4" = 1'-0"

G2 ARCHITECTURE, PC
WWW.G2-DESIGNGROUP.COM
24 AIRPORT ROAD | SCHENECTADY, NY 12302 | 518.320.8250

STAMP:

Bid Set (RFB # 2022-19)
SUBMITTAL / REVISION
County Coordination

DATE: 05/13/2022
No. 1

Life Safety Plan
Renovations To:
Schenectady COB Lobby
Schenectady, NY
620 State Street

DRAWN BY: C2 Architecture
DATE: 04/27/2022
SCALE: AS NOTED
JOB NO: 2132
SHEET: **G200**

PLOT DATE: 6/13/2022 3:14:05 PM



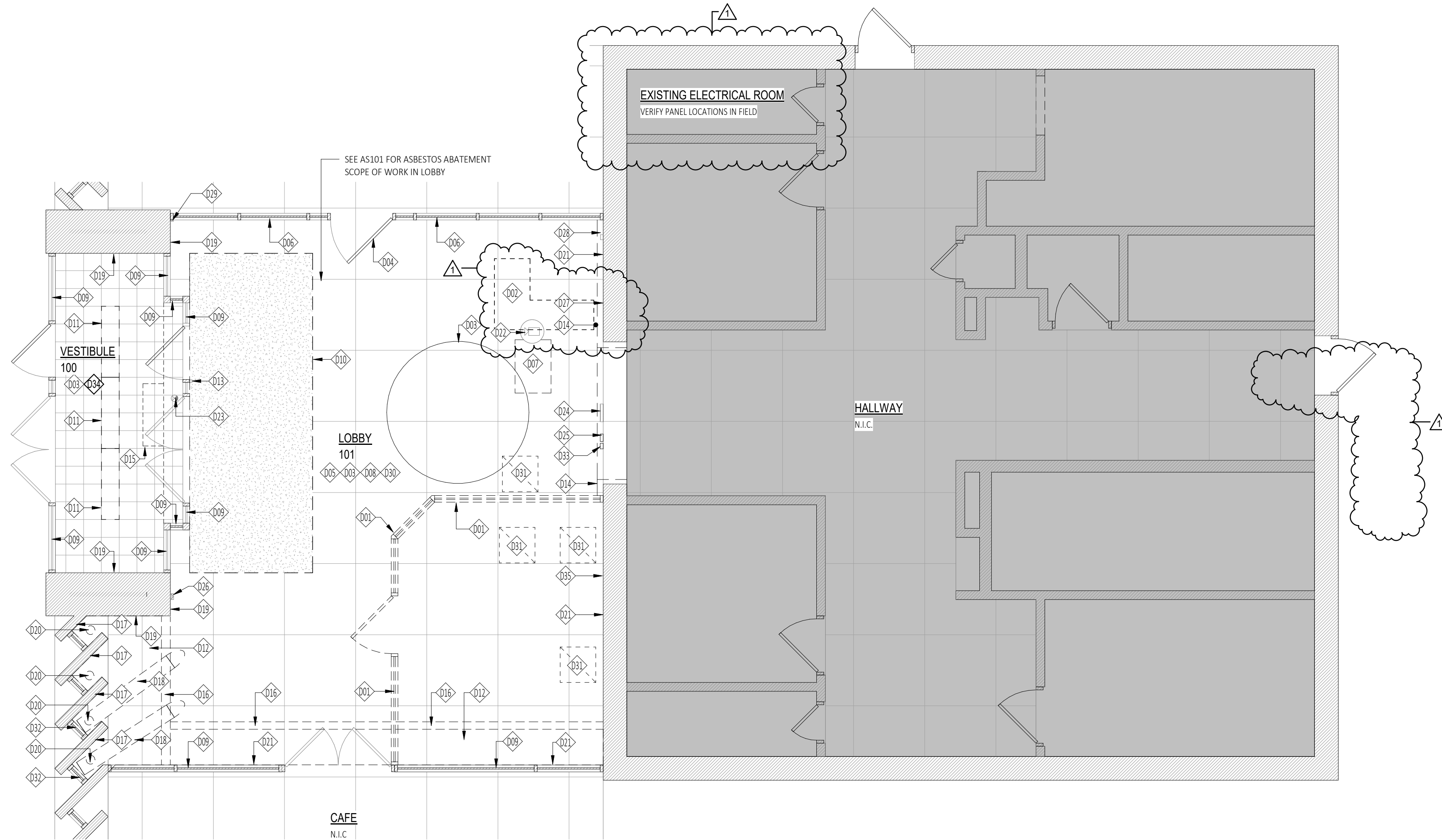
1. REMOVAL OF MECHANICAL DUCTS AND RECESSED LIGHT FIXTURES



2. EXISTING FIRE ALARM BOX, WALL MOUNTED CLOCK, SECURITY DETECTOR, AND REMOVAL OF WOOD PANELING



3. REMOVAL OF EXISTING STOREFRONT SYSTEM, REMOVAL OF EXISTING WALK OFF CARPET



1 Ground Floor Demolition and Ceiling Plan
 D100 SCALE: 1/4" = 1'-0"

Demolition Plan Legend	
D01	REMOVE EXISTING STOREFRONT SYSTEM IN ITS ENTIRETY, PATCH AND REPAIR TERRAZZO FLOORING AND BULKHEAD ABOVE AS REQUIRED. COORDINATE WITH THE WORK.
D02	EXISTING DESK TO BE REMOVED AND STORED FOR RE-USE. G.C. TO PROTECT DURING CONSTRUCTION, COORDINATE WITH COUNTY.
D03	EXISTING FLOOR FINISH TO REMAIN, G.C. TO PROTECT DURING DEMOLITION AND CONSTRUCTION.
D04	EXISTING DOOR TO REMAIN. COORDINATE WITH THE WORK.
D05	REMOVE EXISTING ACT GRID AND TILES IN THEIR ENTIRETY INCLUDING HANGERS, COORDINATE WITH THE WORK.
D06	EXISTING STOREFRONT FRAME TO REMAIN, CLEAN EXISTING GLASS AND FRAME, COORDINATE WITH THE WORK.
D07	REMOVE EXISTING SECURITY DETECTOR, SALVAGE FOR REUSE, COORDINATE WITH THE WORK.
D08	REMOVE EXISTING LIGHTING AND ALL ASSOCIATED CONDUIT, COORDINATE WITH THE WORK.
D09	MAINTAIN EXISTING STOREFRONT SYSTEM, COORDINATE WITH THE WORK.
D10	REMOVE EXISTING RECESSED WALK OFF CARPET, PREP FOR NEW FINISH.
D11	REMOVE EXISTING RECESSED MOUNT 2X4 LIGHTING, COORDINATE WITH THE WORK.
D12	MAINTAIN EXISTING CEILING SYSTEM, PATCH AND REPAIR FROM DEMOLITION AS REQUIRED, PREP FOR NEW FINISH.
D13	EXISTING ADA DOOR SWITCH TO REMAIN. G.C. TO PROTECT DURING DEMOLITION AND CONSTRUCTION.
D14	REMOVE EXISTING WOOD WALL AND SOFFIT PANELS, PREP FOR NEW FINISH.
D15	REPAIR EXISTING AIR CURTAIN, COORDINATE WITH WORK.
D16	MAINTAIN EXISTING BULKHEAD, PATCH AND REPAIR FROM DEMOLITION AS REQUIRED, PREP FOR NEW FINISH.
D17	CLEAN, PROTECT, AND MAINTAIN EXISTING GRANITE SLAB WALLS. G.C. TO PROTECT DURING DEMOLITION AND CONSTRUCTION.
D18	REMOVE EXISTING MECHANICAL DUCTS AND EXHAUST SYSTEM. G.C. TO COORDINATE WITH THE WORK.
D19	CLEAN, PROTECT, AND MAINTAIN EXISTING STONE SLAB WALLS. G.C. TO PROTECT DURING DEMOLITION AND CONSTRUCTION.
D20	REMOVE EXISTING RECESSED LIGHT FIXTURE, PREP FOR NEW.
D21	CLEAN, PROTECT, AND MAINTAIN EXISTING TERRAZZO BASE. G.C. TO PROTECT DURING DEMOLITION AND CONSTRUCTION.
D22	REMOVE EXISTING SECURITY CAMERA, SALVAGE FOR REUSE. COORDINATE WITH THE WORK.
D23	PROTECT AND MAINTAIN EXISTING EMERGENCY EXIT FIXTURE.
D24	REMOVE EXISTING WALL MOUNTED CLOCK.
D25	TEMPORARY REMOVE AND RE-INSTALL EXISTING FIRE ALARM. COORDINATE WITH THE DOOR.
D26	PROTECT AND MAINTAIN EXISTING MANUAL FIRE ALARM PULL STATION.
D27	RELOCATE POWER OUTLETS AND DATA WITH WIDE CONDUIT. COORDINATE WITH OWNER FOR FINAL LOCATION.
D28	TEMPORARY REMOVE AND RE-INSTALL EXISTING THERMOSTAT. COORDINATE WITH WORK.
D29	PROTECT AND MAINTAIN EXISTING DOOR SWITCH DURING DEMOLITION AND CONSTRUCTION.
D30	REMOVE ALL EXISTING LIGHTING FIXTURES. SECURE AND PROTECT LIGHTING POWER AND WIRES FOR FUTURE USE.
D31	REMOVE EXISTING MECHANICAL TRANSFER GRILLS.
D32	PATCH AND CLEAN OPENING FROM REMOVALS. REPLACE OPENING WITH GLASS BLOCKS TO MATCH EXISTING.
D33	RELOCATE EXISTING ELECTRICAL JUNCTION BOX, AS REQUIRED FOR NEW WORK.
D34	EXISTING CEILING TO REMAIN, PATCH AS REQUIRED FROM REMOVALS, COORDINATE WITH THE WORK.
D35	REMOVE ELECTRICAL SWITCH AND POWER EXHAUST SYSTEM ASSOCIATED TO EXISTING SMOKING ROOM.
GENERAL DEMOLITION NOTES:	
1. REFERENCE G101 AND G102 FOR ADDITIONAL NOTES	
2. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS, UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL ELEMENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT, IN WRITING, BY RFI (REQUEST FOR INFORMATION), PRIOR TO THE REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTORS NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES THEIR COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.	
3. SEE AS101 FOR ASBESTOS ABATEMENT SCOPE OF WORK.	

STAMP:

Bid Set (RFB # 2022-19)

DATE: 06/13/2022

SUBMITTAL / REVISION

County Coordination

No. 1

SHEET TITLE: Ground Floor Ceiling and Demolition Plan

Renovations To:

Schenectady COB Lobby

Schenectady, NY

620 State Street

DRAWN BY: C2 Architecture

DATE: 04/27/2022

SCALE: AS NOTED

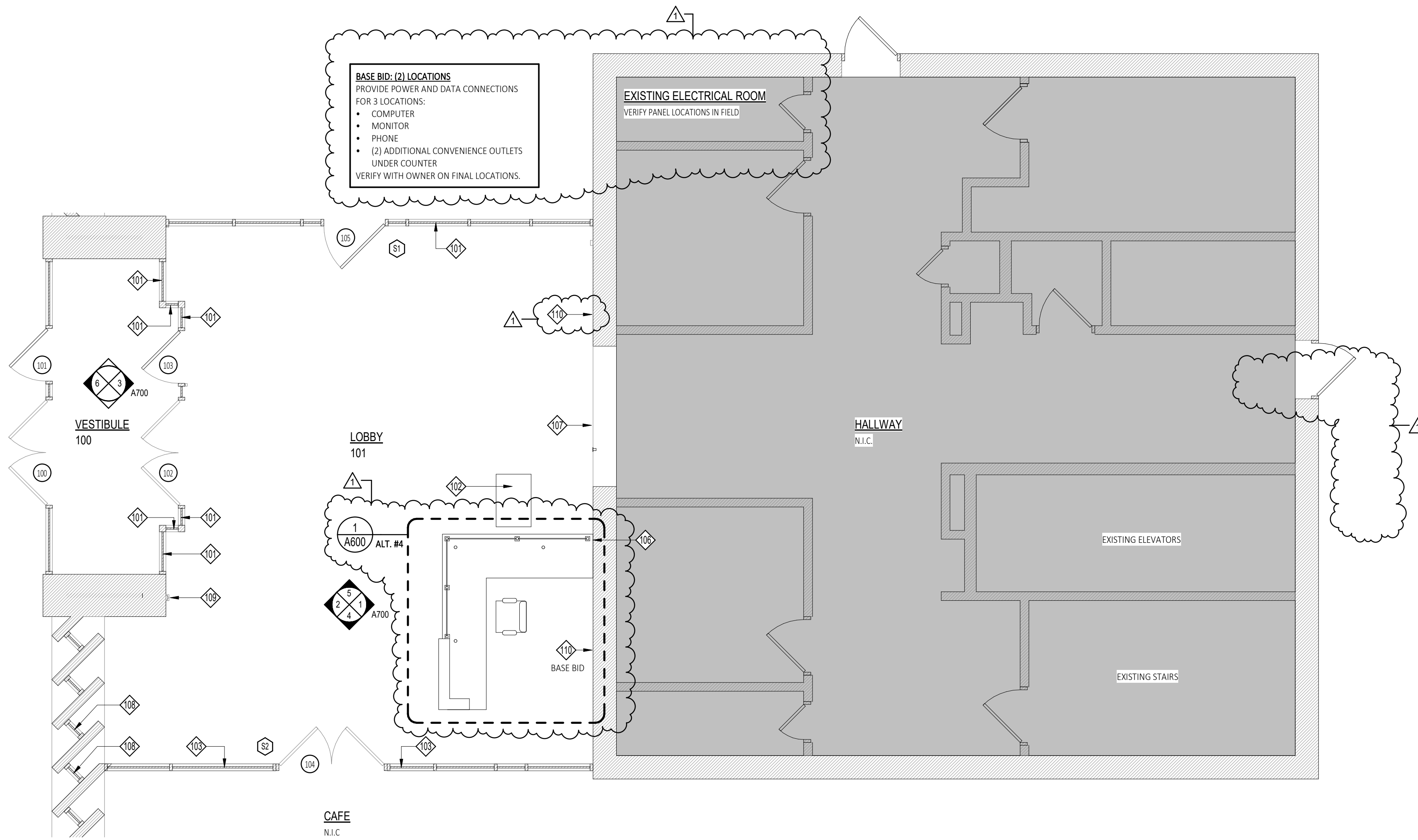
JOB NO: 213

SHEET: **D100**

Floor Plan Keynote Legend	
101	INSTALL NEW 3-FORM AT GLASS PANELS. SEE ADDITION ALTERNATE #3
102	EXISTING RELOCATED METAL DETECTOR. COORDINATE ELECTRICAL HOOK-UP BACK TO MAIN PANEL. COORDINATE WITH OWNER ON FINAL LOCATION
103	EXISTING STOREFRONT TO REMAIN. REEFERENCE DETAIL ON A800 FOR ADDITIONAL INFORMATION
104	NOT USED
105	NOT USED
106	PROPOSED LOCATION OF RELOCATED DATA PORT. COORDINATE WITH THE WORK, DATA LINE TO RUN WITHIN WALL
107	EXISTING FIRE ALARM ABOVE TO REMAIN. COORDINATE WITH THE WORK
108	INFILL OPENING WITH CLEAR GLASS BLOCK TO MATCH EXISTING SIZE AND STYLE
109	EXISTING MANUAL FIRE ALARM PULL STATION TO REMAIN
110	SEE BASE BID NOTES ON A100 FOR REQUIREMENTS AT THIS LOCATION (COORDINATE WITH COUNTY)

GENERAL FLOOR PLAN NOTES:

- REFERENCE G101 AND G102 FOR ADDITIONAL NOTES.
- PROVIDE SOLID BLOCKING IN WALLS AS REQUIRED FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES.
- G.C. TO COORDINATE WITH OWNER ON ALL OWNER SELECTED OR PROVIDED ITEMS. COORDINATE ALL MEP REQUIREMENTS AS REQUIRED.
- G.C. TO COORDINATE ALL SECURITY SYSTEM REQUIREMENTS WITH OWNER.
- THE G.C. SHALL COORDINATE AND CONFIRM ALL POWER AND DATA REQUIREMENTS TO COMPLETE THE SCOPE OF THE WORK.
- THE G.C. SHALL COORDINATE ALL LIGHTING POWER AND SWITCHING CONNECTIONS TO COMPLETE THE SCOPE OF THE WORK. PROVIDE NEW WIRING AS REQUIRED.
- G.C. TO PROVIDE WIRE MOLD POWER DISTRIBUTION CONDUIT PER CODE AND TO MATCH EXISTING AT WALL LOCATIONS WERE EXISTING CONDITION (V.I.F.) WILL NOT ALLOW IN WALL DISTRIBUTION.
- ALL ELECTRICAL POWER, LIGHTING, EMERGENCY LIGHTING, EXIT SIGNS, FIRE ALARM INTEGRATED WITH SMOKE CONTROL SYSTEMS, SMOKE DETECTION AND COMMUNICATION SHALL MEET AND CONFORM TO:
 - NYS ELECTRICAL CODES 2020 - CHAPTER 27 NRPA 707 AND NEC 2017 EXISTING BUILDING CODE OF NEW YORK STATE SHALL BE REFERENCED AND GOVERN ALL ALTERATIONS, REPAIR, RELOCATION, REPLACEMENT, AND ADDITION OF ALL ELECTRICAL COMPONENTS, EQUIPMENT, AND SYSTEMS AS DESCRIBED AND SHOWN ON THE CONTRACT DOCUMENTS.
 - G.C. IS RESPONSIBLE FOR ALL REMOVALS OF LIGHTING FIXTURES AND POWER AND SWITCHES AS DESCRIBED ON THE CONTRACT DOCUMENTS BACK TO THE SOURCE OF THE POWER PANELS. G.C. MUST VERIFY LINE OF SYSTEM SOURCE AND PANEL LOCATION WITHIN THE BUILDING.
 - THE G.C. SHALL VERIFY ALL FIRE ALARM AND DETECTION SYSTEMS WITHIN THE AREA OF SCOPE OF WORK IS CONTINUOUSLY OPERATIONAL DURING PUBLIC OCCUPANCY AND NORMAL WORK HOURS.
 - NEW ELECTRICAL WORK AND RECONNECTION TO SYSTEM SOURCES:
 - G.C. IS RESPONSIBLE FOR ALL NEW AND RELOCATED LIGHTING, POWER, FIRE ALARMS, I.T., AND COMMUNICATION SYSTEMS
 - VERIFY ALL REQUIRED MODIFICATIONS TO "COMPLETE IN FULL" THE SCOPE OF WORK FOR EACH COMPONENT AS NOTED ON THE CONTRACT DOCUMENTS.
- IF NEW SYSTEMS (REMOVALS OR RELOCATIONS) ARE DISCOVERED PRIOR TO OR DURING THE REMOVAL PHASE OF THE PROJECT, THE CONTRACTOR MUST NOTIFY THE ARCHITECT IMMEDIATELY, AND STOP WORK FOR THAT PORTION OF THE WORK IN QUESTION. THE G.C. MUST OBTAIN APPROVAL BEFORE STARTING ANY WORK OF THE NEW SCOPE.
- MECHANICAL SYSTEM WORK SHALL MEET AND CONFORM TO:
 - NYS MECHANICAL CODES 2020 - CHAPTER 28 AND INTERNATIONAL MECHANICAL CODE 2017 (NEC 2017). THE CODE SHALL BE REFERRED AND ALL WORK FOR MECHANICAL ALTERATIONS, RETAIN, RELOCATION, REPLACEMENT, AND/OR NEW WORK SHALL COMPLY WITH THE CODE.



1
A100 Ground Floor Plan
 SCALE: 1/4" = 1'-0"

STAMP:

Bid Set (RFB # 2022-19)	
DATE:	05/13/2022
SUBMITTAL / REVISION	
County Coordination	
No.	
1	

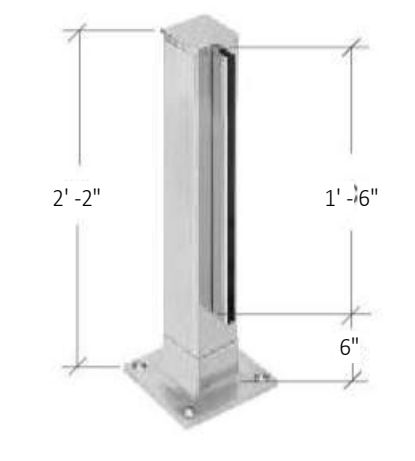
Ground Floor Plan
 Renovations To:
Schenectady COB Lobby
 Schenectady, NY
 620 State Street

DRAWN BY:	C2 Architecture
DATE:	04/27/2022
SCALE:	AS NOTED
JOB NO:	2132
SHEET:	

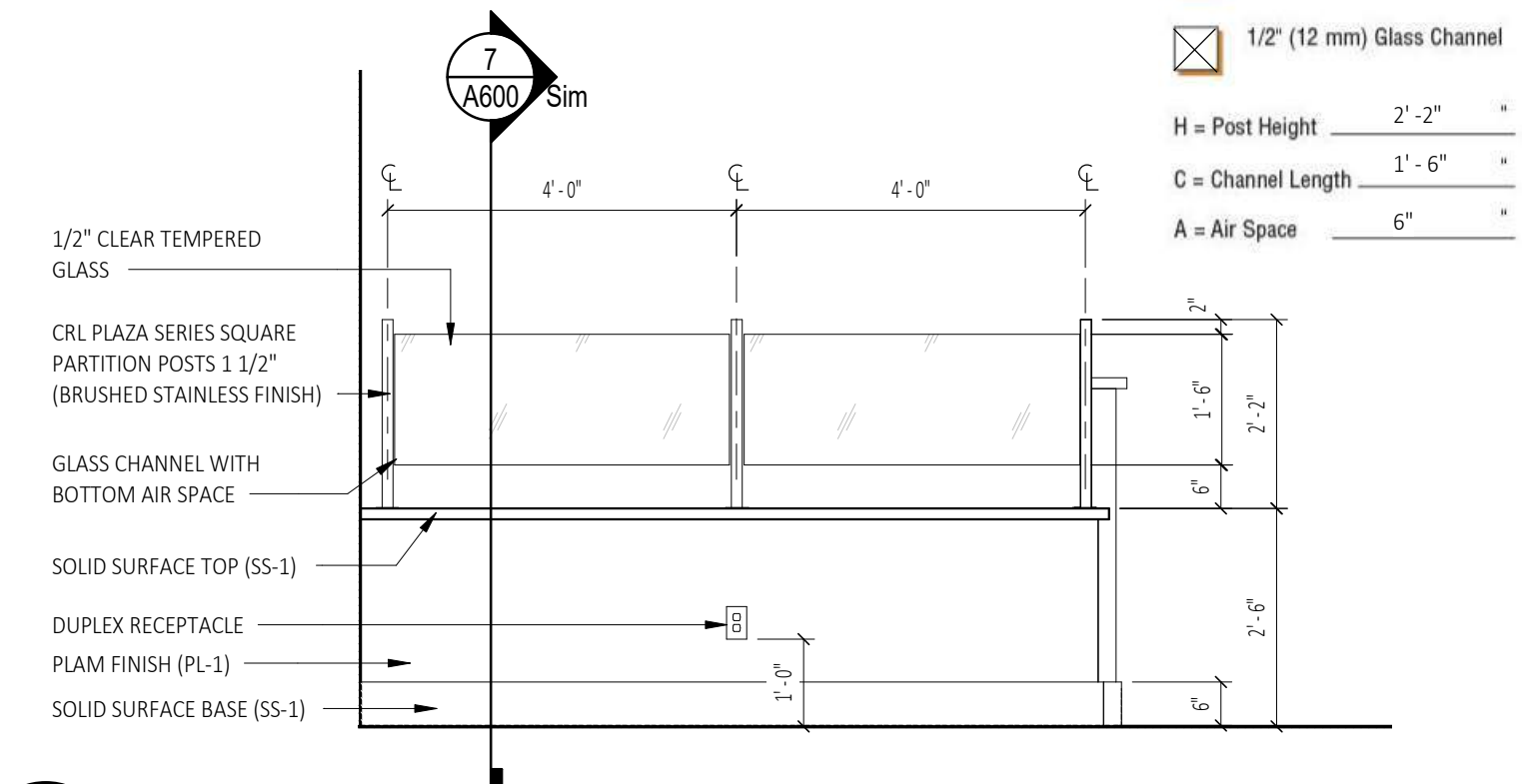
A100

Post Style and Dimensions

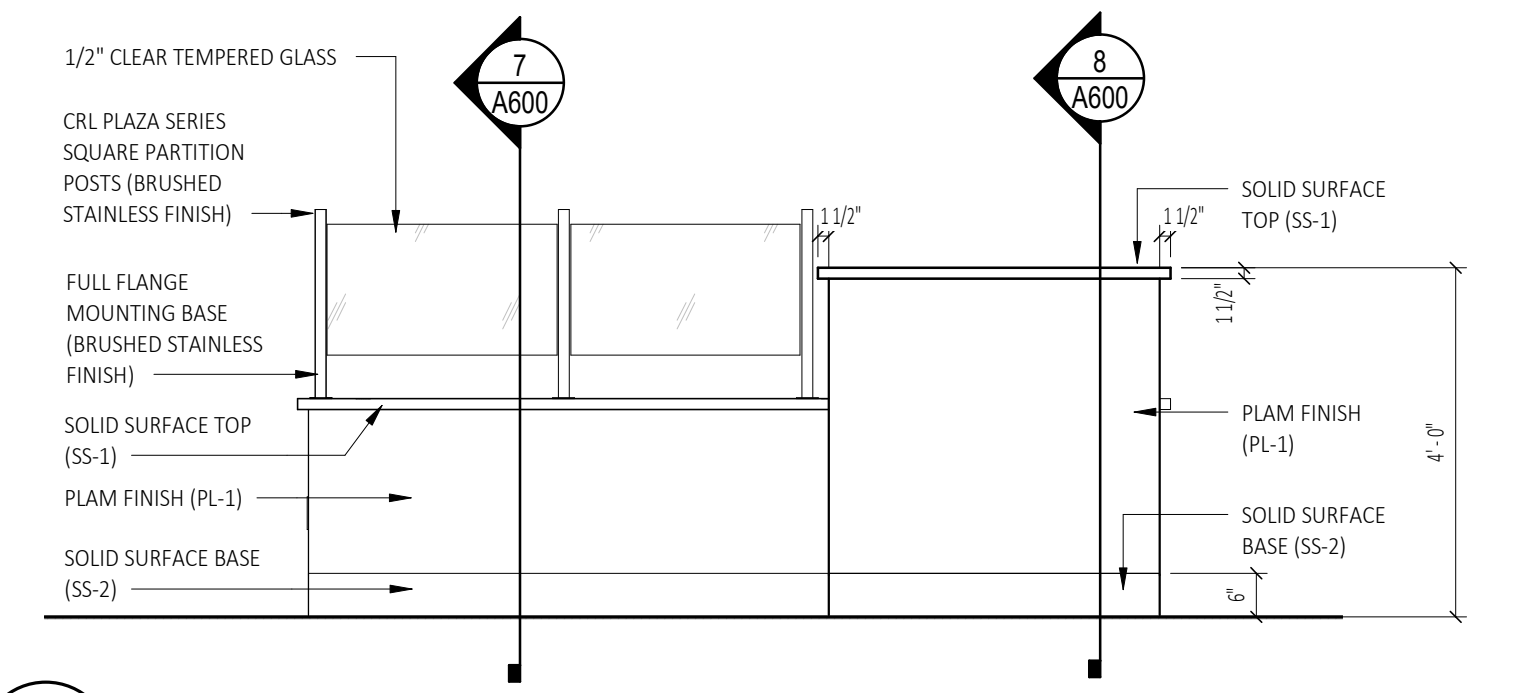
- Channel with Bottom Air Space**
- 1/4" (6 mm) Glass Channel
 - 3/8" (10 mm) Glass Channel
 - 1/2" (12 mm) Glass Channel
- H = Post Height 2'-2" ±
 C = Channel Length 1'-6" ±
 A = Air Space 6" ±



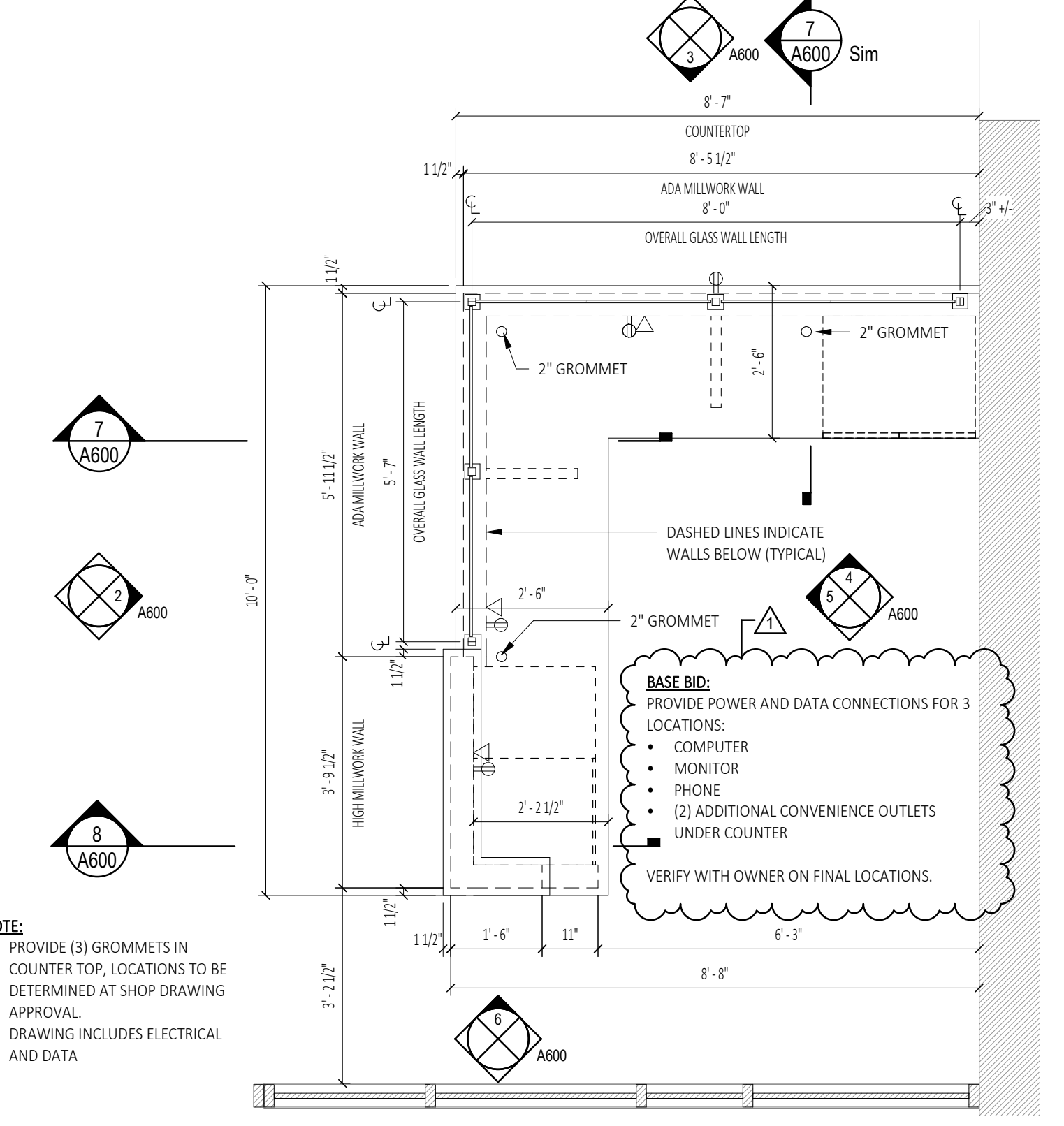
NOTE:
 COORDINATE LOCATION WITH METAL DETECTOR



3 Interior Elevation - Security Desk (Side)
 A600 SCALE: 1/2" = 1'-0"



2 Interior Elevation - Security Desk (Front)
 A600 SCALE: 1/2" = 1'-0"



1 Enlarged Plan at Security Desk
 A600 SCALE: 1/2" = 1'-0"

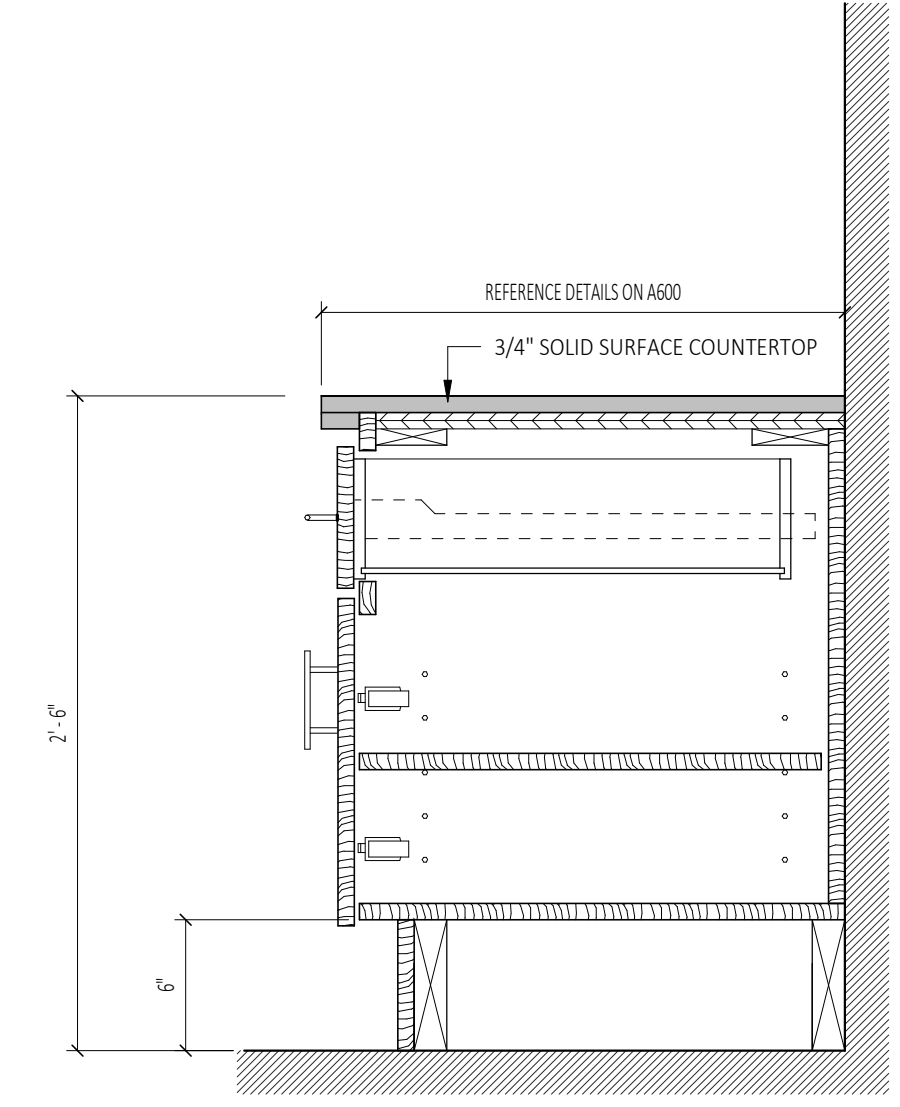
CABINET SPECIFICATIONS:

BODY:
 3/4" PARTICLE BOARD WITH PLASTIC LAMINATE (PL-2) ON ALL EXPOSED FACES ON EXTERIOR, WHITE PLASTIC LAMINATE ON INTERIOR FACES.

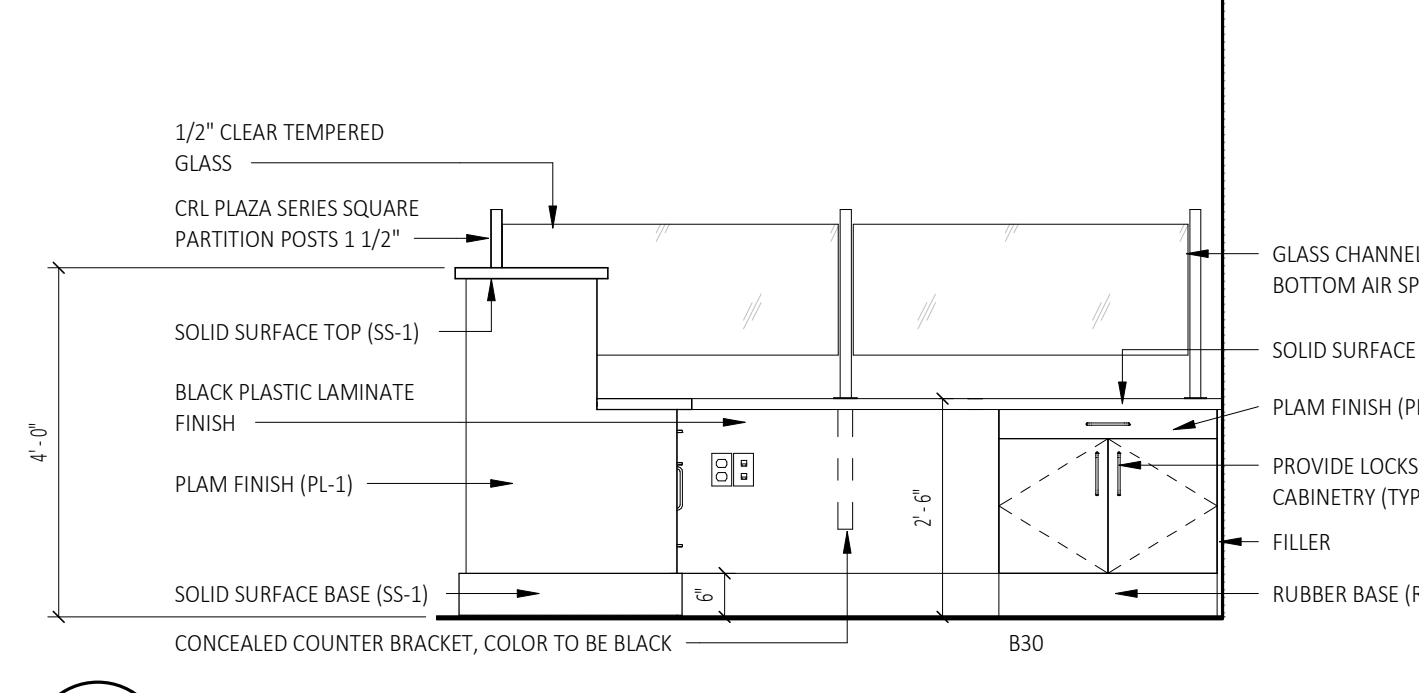
DOORS AND DRAWERS:
 3/4" PARTICLE BOARD WITH PLASTIC LAMINATE (PL-2) ON ALL EXPOSED FACES. DOORS SHALL OVERLAY FLUSH.

ADJUSTABLE SHELVING:
 3/4" PARTICLE BOARD WITH WHITE FINISH ON ALL EXPOSED FACES. (1) SHELF PER CABINET UNIT.

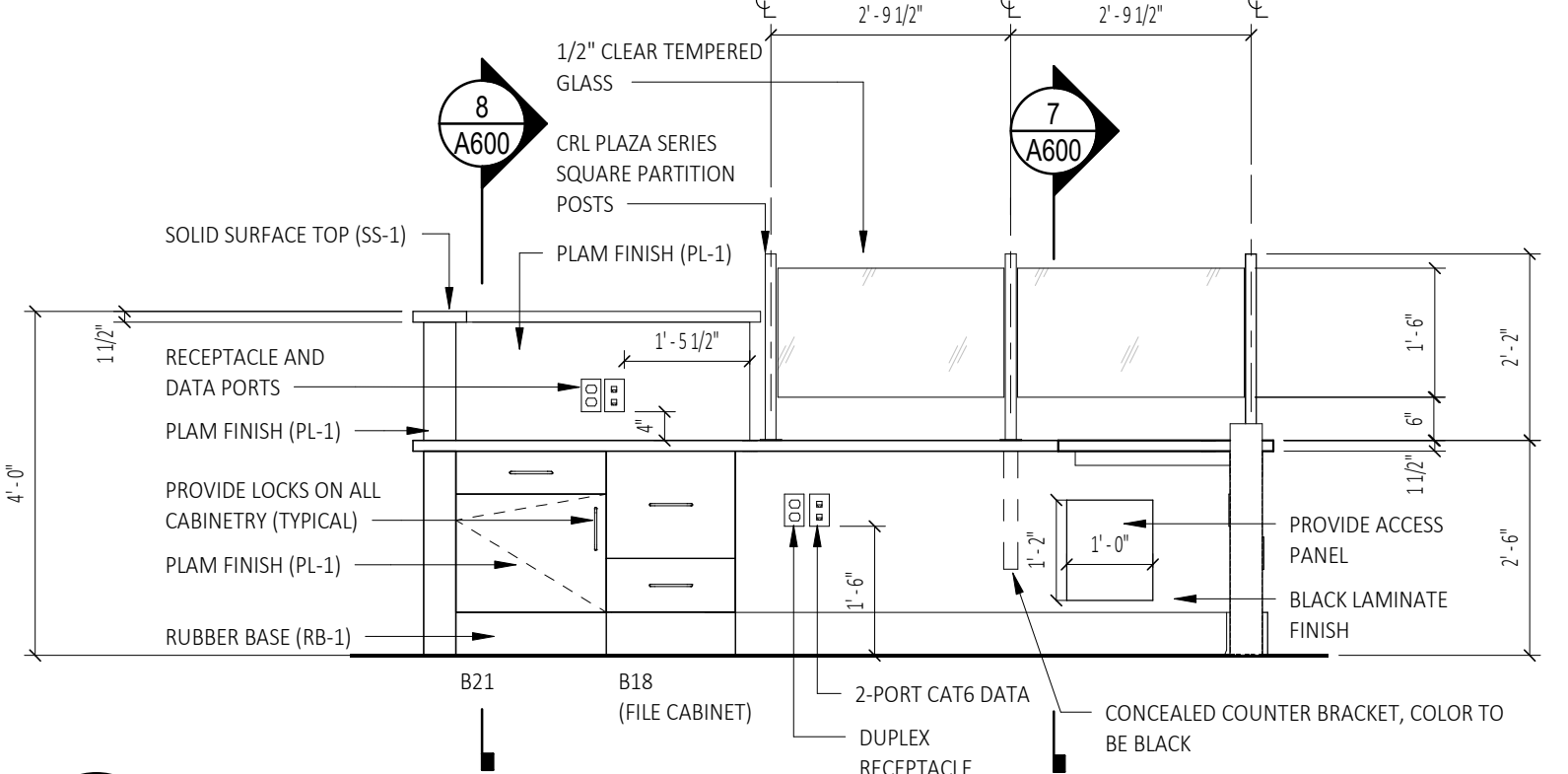
HARDWARE:
 CONCEALED, SOFT CLOSE HINGES, AND DRAWER SLIDES, BRUSHED NICKEL LADDER PULLS WITH LOCKS



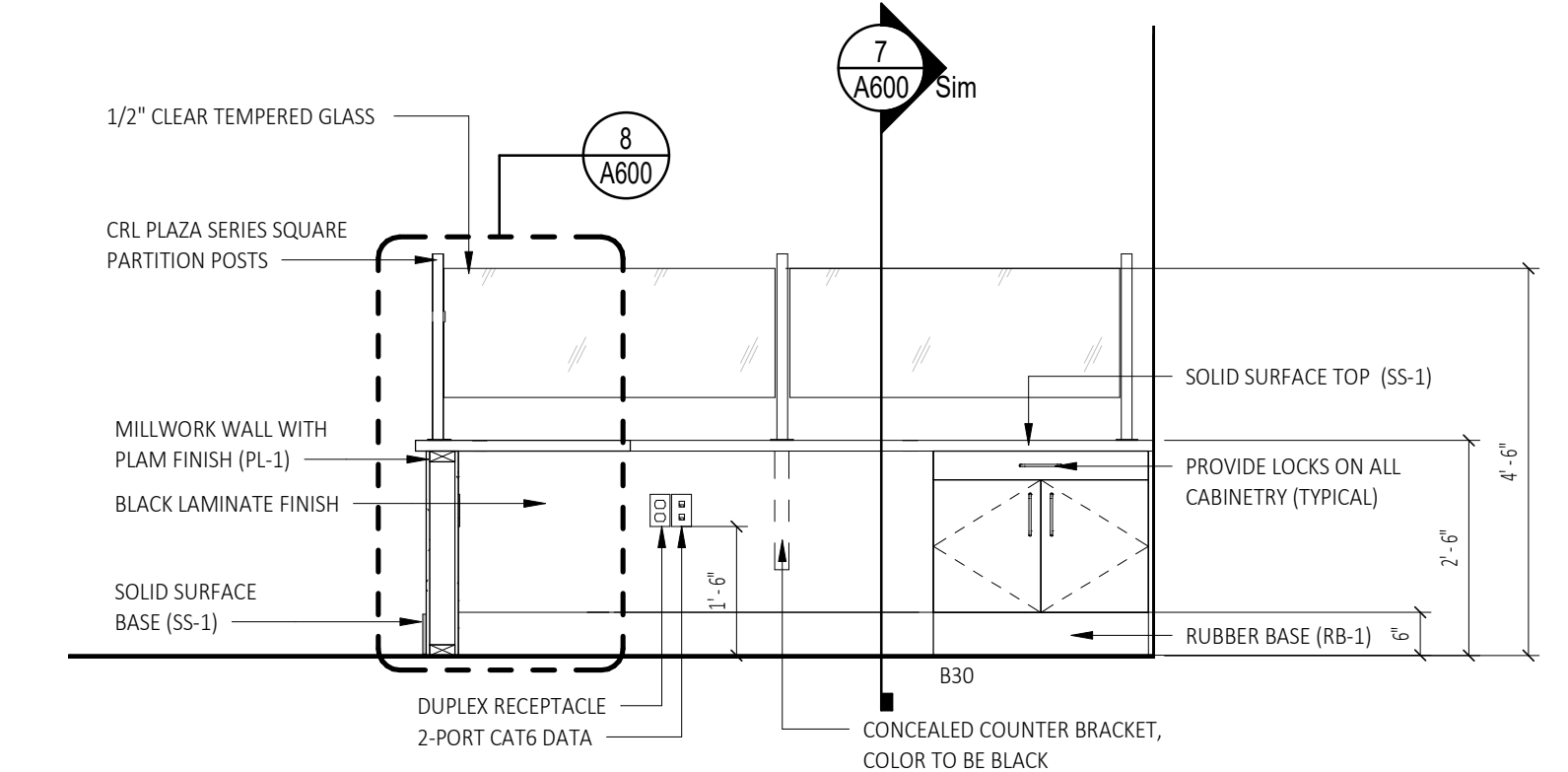
9 Typical Base Cabinet Detail
 A600 SCALE: 1 1/2" = 1'-0"



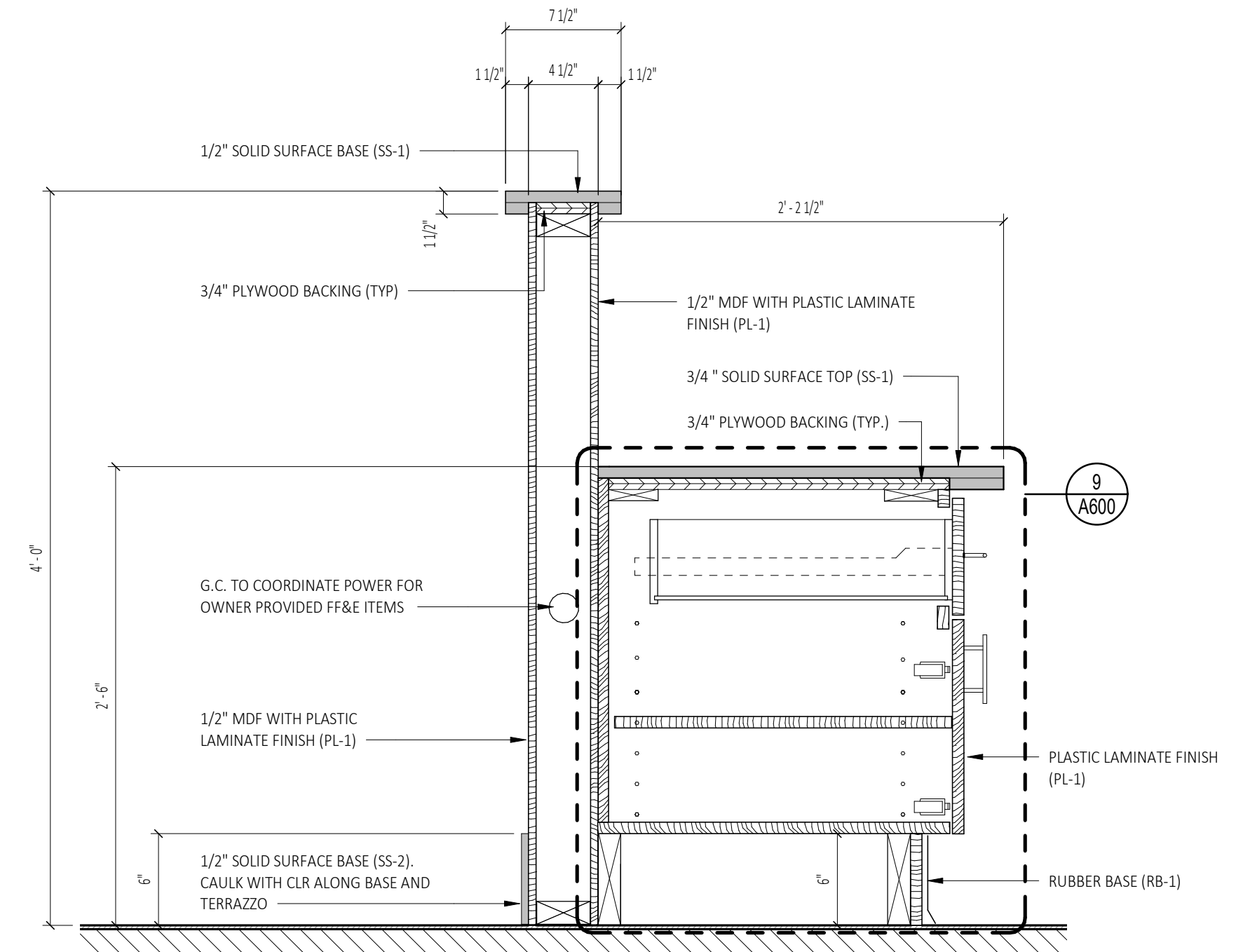
6 Interior Elevation - Security Desk (North)
 A600 SCALE: 1/2" = 1'-0"



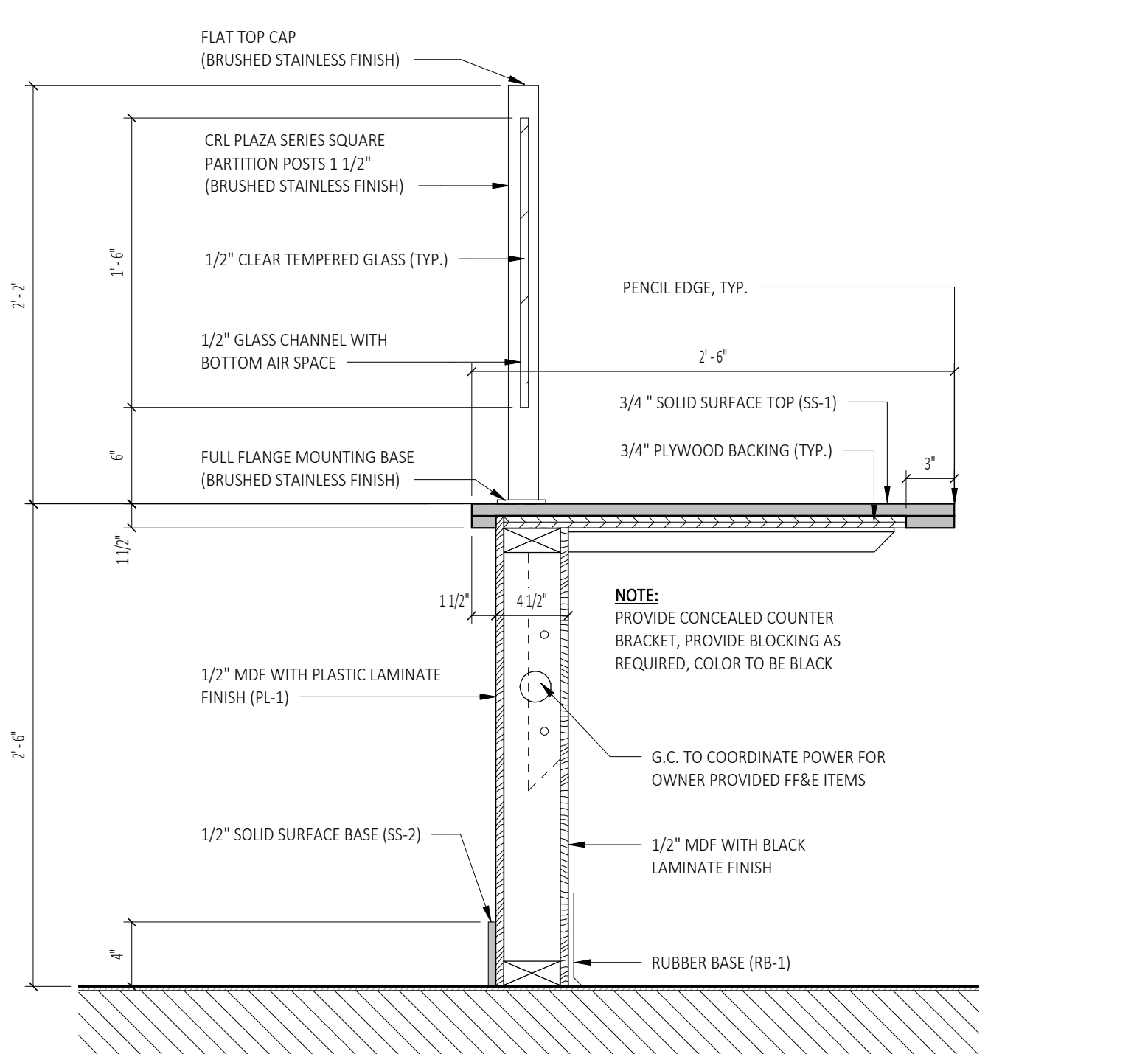
5 Interior Elevation - Security Desk (Back)
 A600 SCALE: 1/2" = 1'-0"



4 Interior Elevation - Security Desk
 A600 SCALE: 1/2" = 1'-0"



8 Section at Security Desk (High)
 A600 SCALE: 1 1/2" = 1'-0"



7 Section at Security Desk (ADA)
 A600 SCALE: 1 1/2" = 1'-0"

STAMP:

DATE:	06/13/2022
SUBMITTAL / REVISION:	County Coordination
Bid Set (RFB # 2022-19)	
No.	1

Renovations To:
Schenectady COB Lobby
 Schenectady, NY
 620 State Street

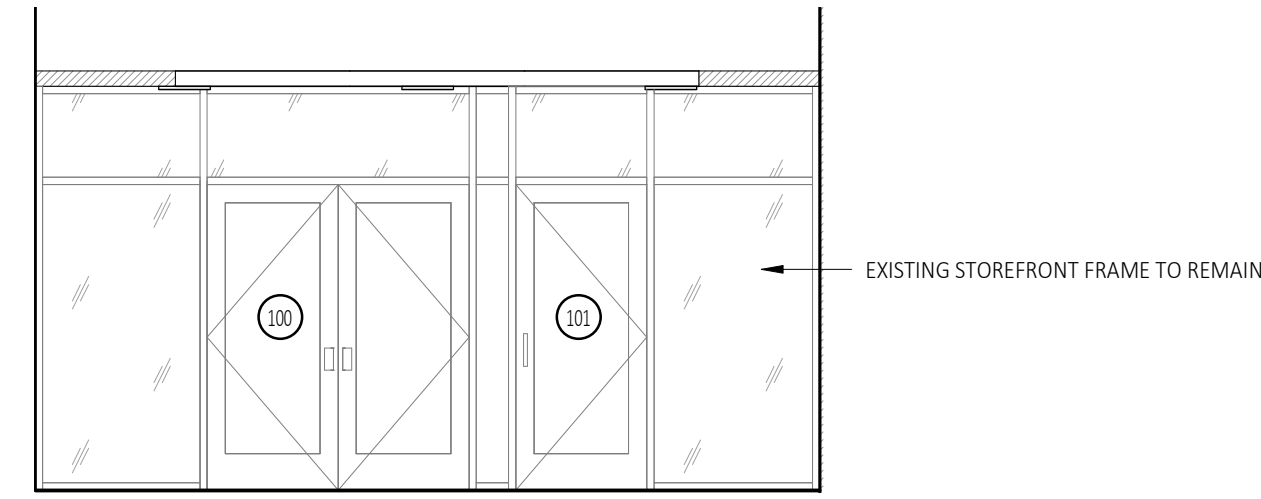
ADD ALTERNATE #04

SHEET TITLE: Alternate #04 - Millwork Details
 PROJECT: Renovations To: Schenectady COB Lobby
 620 State Street, Schenectady, NY

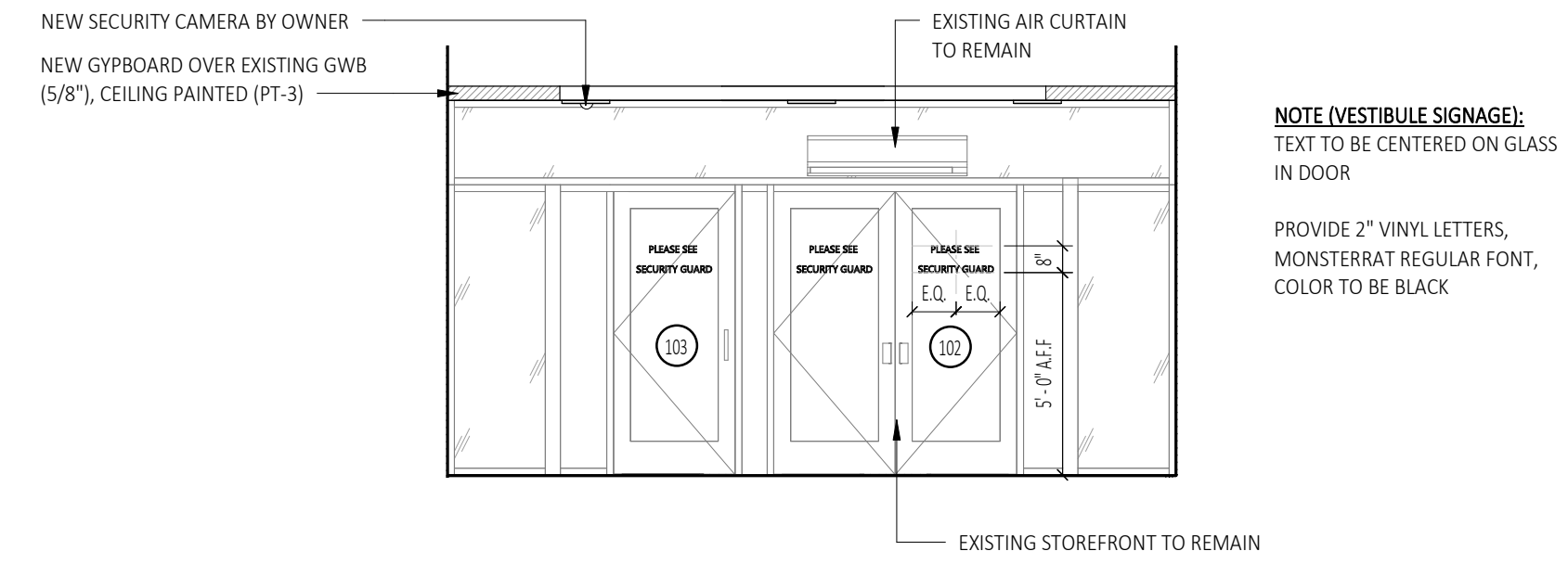
DRAWN BY: C2 Architecture
 DATE: 04/27/2022
 SCALE: AS NOTED
 JOB NO: 2132
 SHEET: A600

PLT DATE: 6/13/2022 3:13:57 PM

6 Interior Elevation - Vestibule 100 (West)
 A700 SCALE: 1/4" = 1'-0"



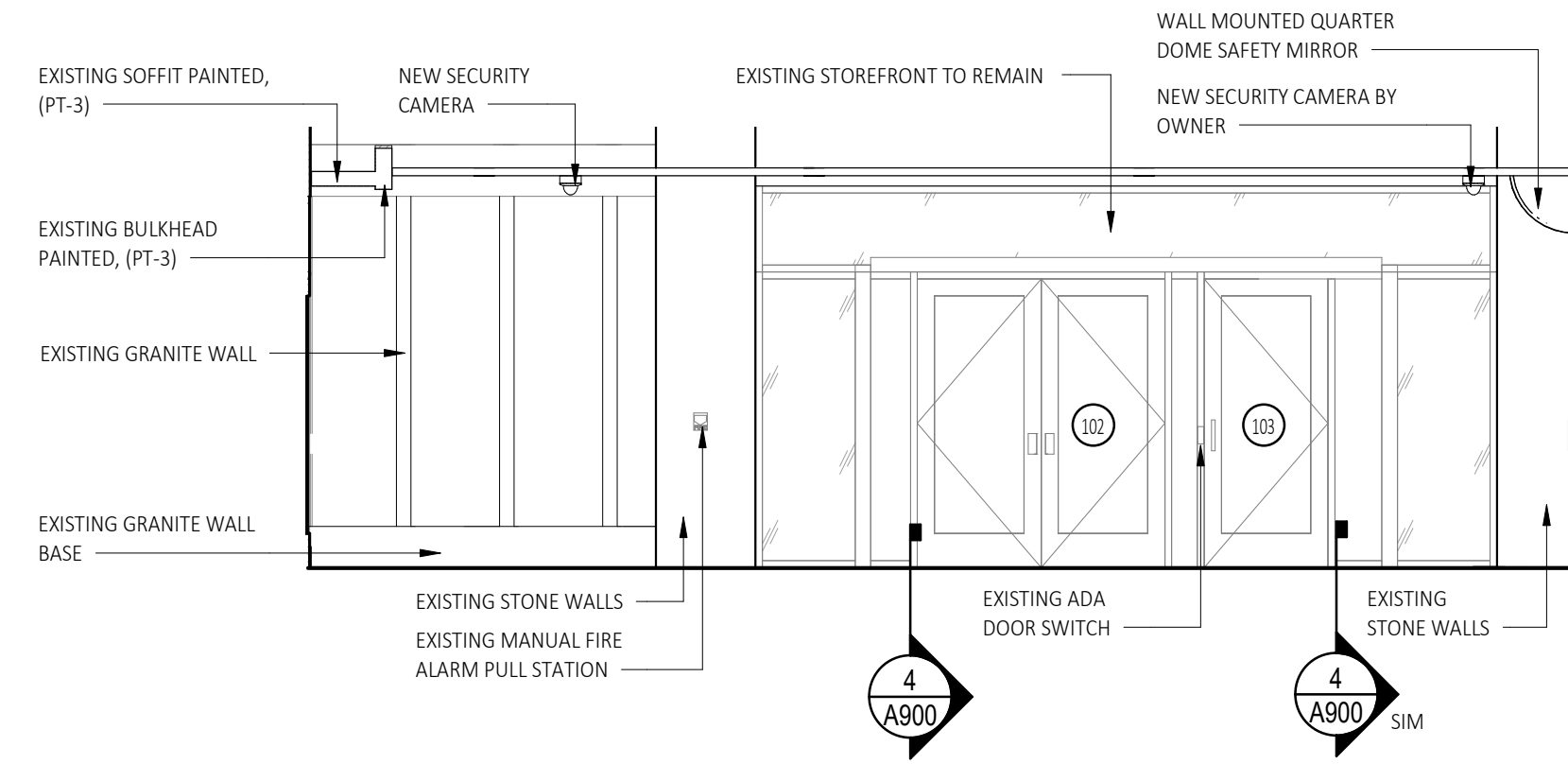
3 Interior Elevation - Vestibule 100 (East)
 A700 SCALE: 1/4" = 1'-0"



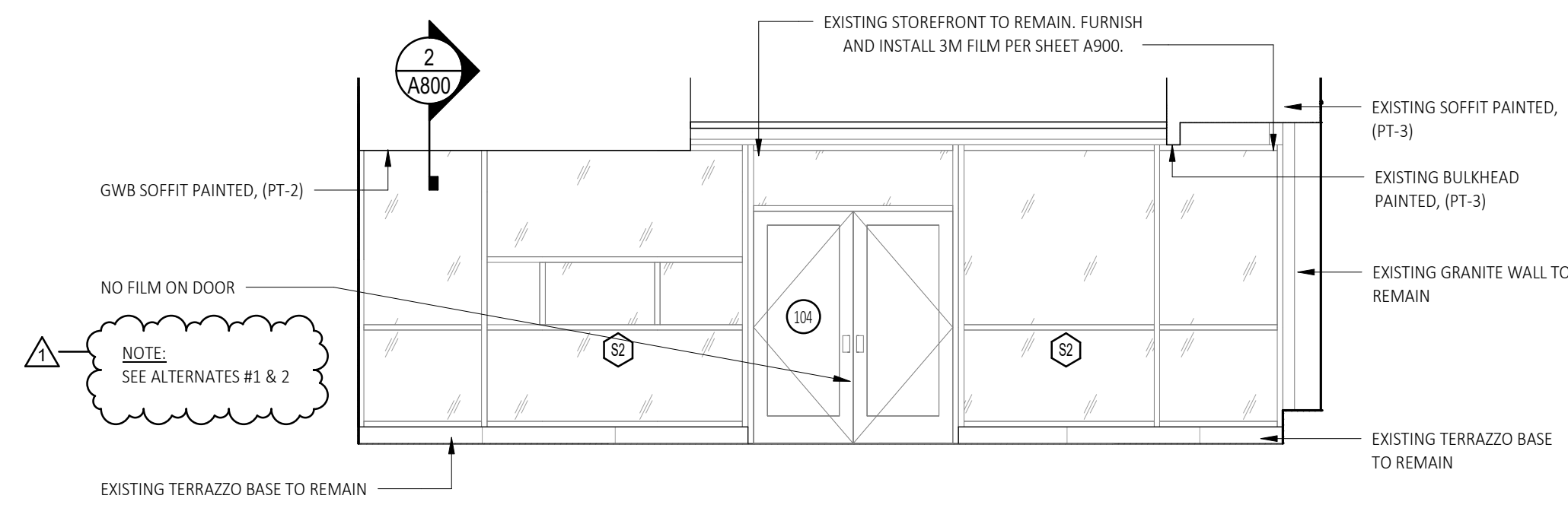
5 Interior Elevation - Lobby 101 (North)
 A700 SCALE: 1/4" = 1'-0"



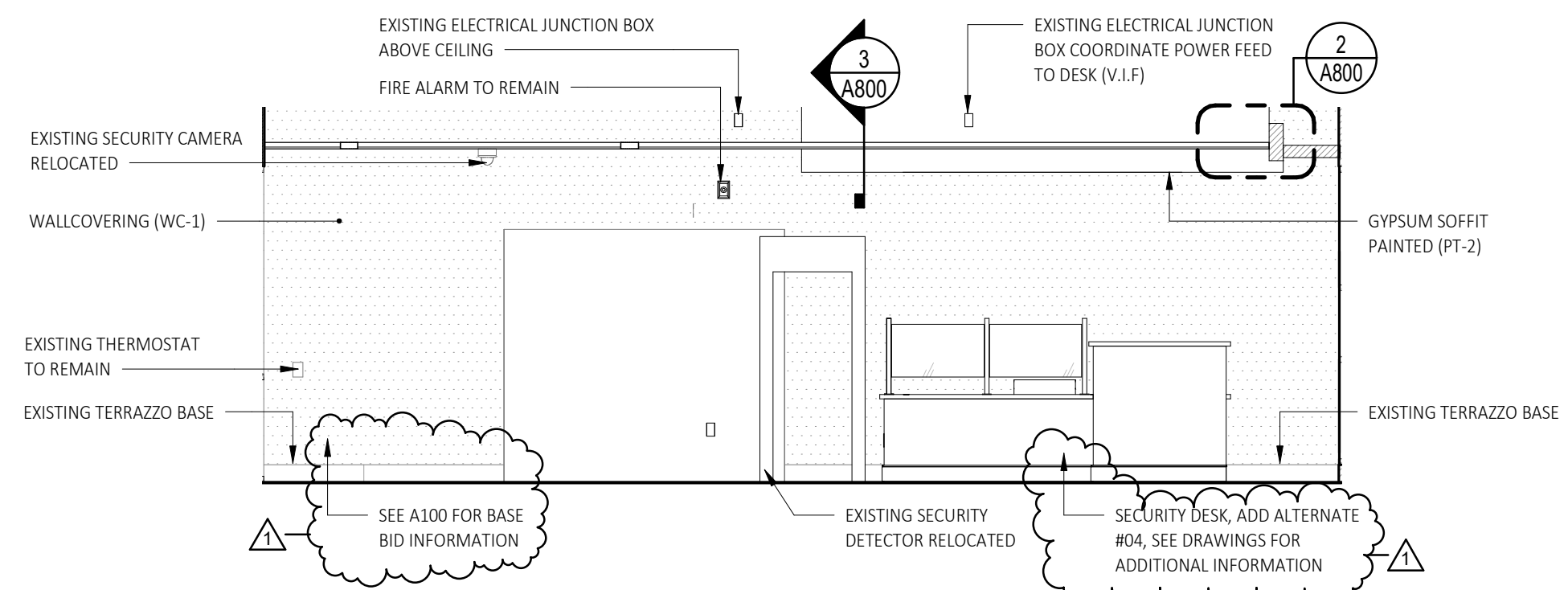
2 Interior Elevation - Lobby 101 (West)
 A700 SCALE: 1/4" = 1'-0"



4 Interior Elevation - Lobby 101 (South)
 A700 SCALE: 1/4" = 1'-0"



1 Interior Elevation - Lobby 101 (East)
 A700 SCALE: 1/4" = 1'-0"



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DATE:	06/13/2022
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County Coordination	
No.	
1	

Bid Set (RFB # 2022-19)

Interior Elevations

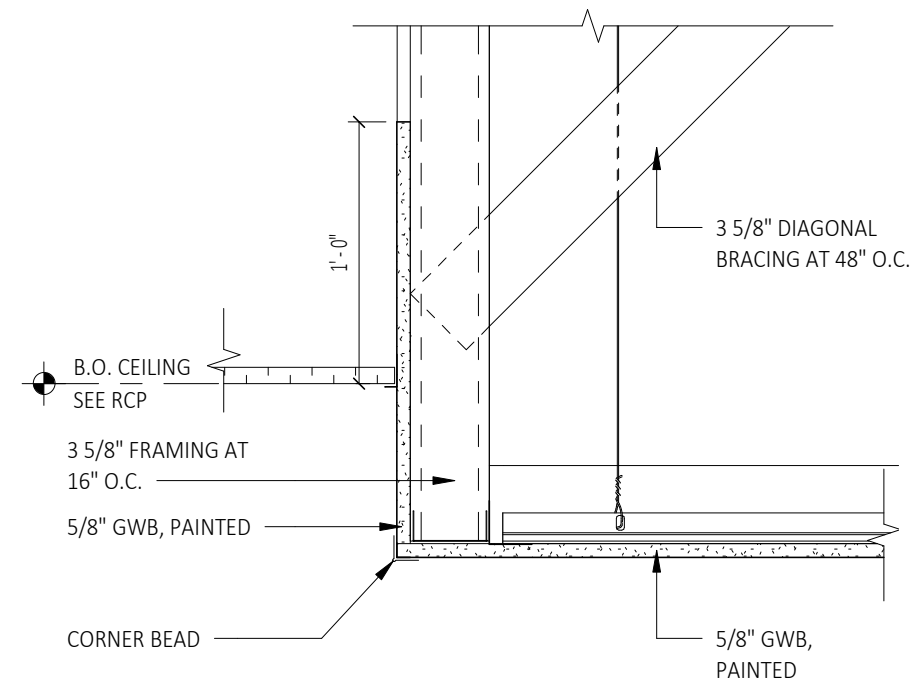
Renovations To:

Schenectady COB Lobby

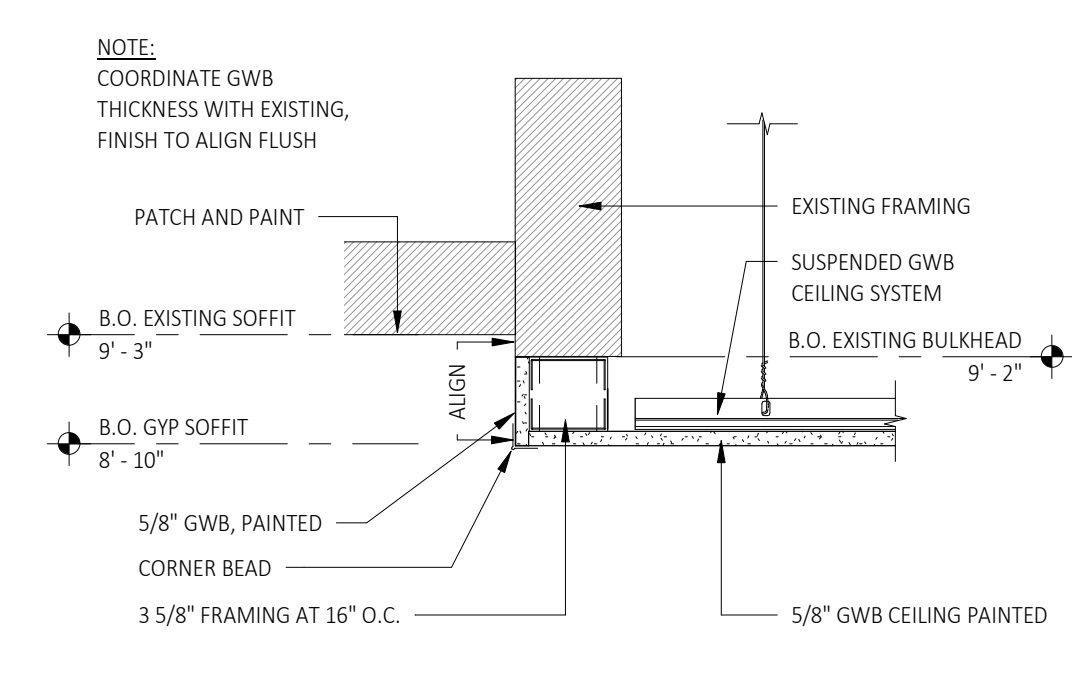
Schenectady, NY

620 State Street

DRAWN BY:	C2 Architecture
DATE:	04/27/2022
SCALE:	AS NOTED
JOB NO:	2132
SHEET:	A700



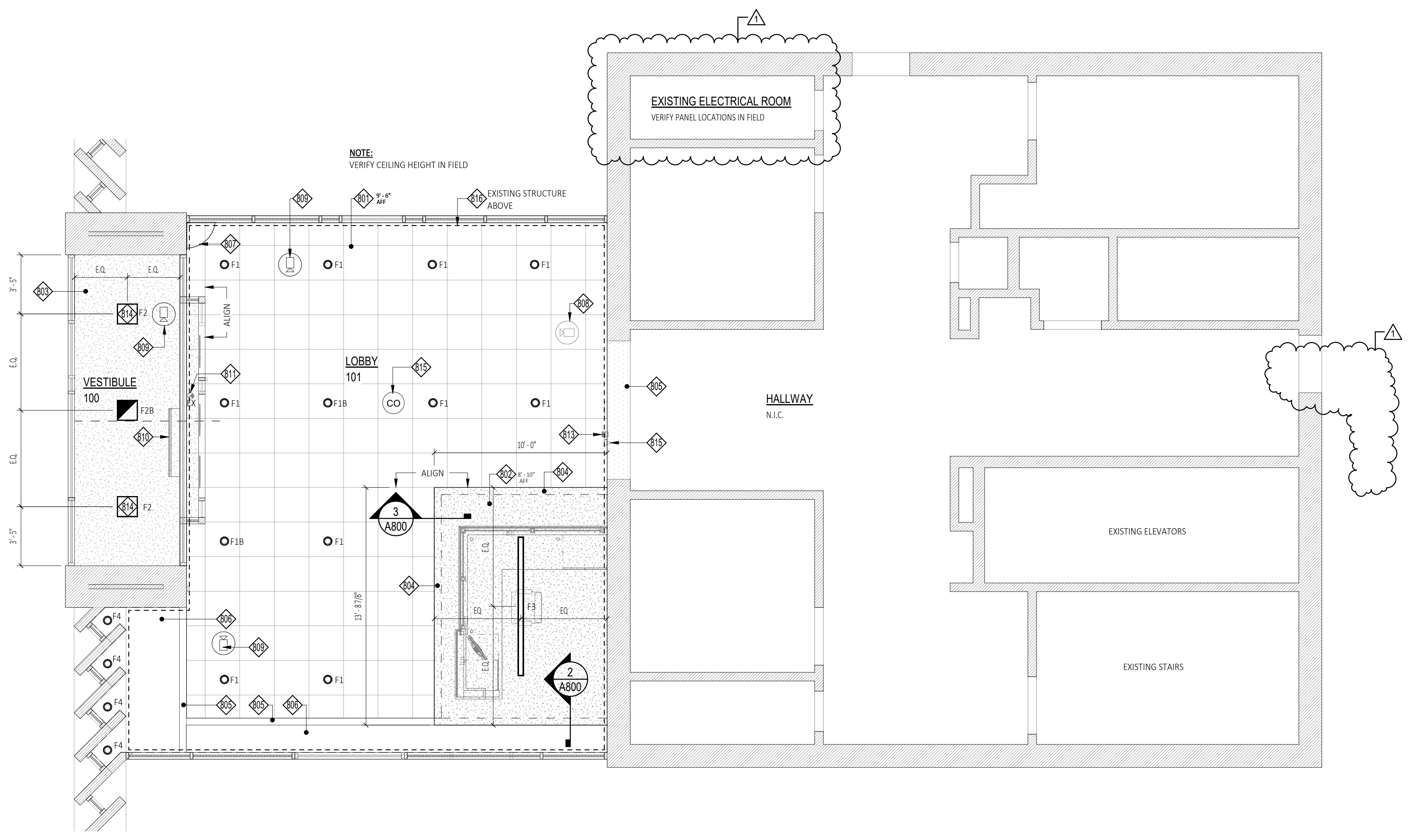
3 Detail at Soffit
A800 SCALE: 1 1/2" = 1'-0"



2 Detail at Existing Bulkhead
A800 SCALE: 1 1/2" = 1'-0"

Type	Description	Manufacturer	Specification	Comments
EX	EXISTING EXIT SIGN	ETR	ETR	ETR
F1	6" LED DOWNLIGHT	ACUTY BRANDS	LDN6-35-10-LO6-AR-LSS-MVOLT-GZ10	
F1B	6" LED DOWNLIGHT	ACUTY BRANDS	LDN6-35-10-LO6-AR-LSS-MVOLT-GZ10-ELSD	EMERGENCY BATTERY PACK
F2	SURFACE MOUNT DOWNLIGHT	ACUTY BRANDS	JSFSQ 14IN 18LM 35 90CRI MVOLT ZT WH W	3500K
F2B	SURFACE MOUNT DOWNLIGHT	ACUTY BRANDS	JSFSQ 14IN 18LM 35 90CRI MVOLT ZT WH W	3500K EMERGENCY BATTERY PACK
F3	RECESSED LINEAR	LUMENWERX	VIA3R-HLO-FH-LED-90-1000-35-8FT-UNV-D1-1-DTR-W	
F4	6" LED DOWNLIGHT (RETROFIT)	ACUTY BRANDS	LDN6RV-35-10-LR-6-AR-LSS-MVOLT-GZ10	RETROFIT INTO EXISTING OPENING

Ceiling Plan Keynote Legend	
801	24" X 24" ACOUSTICAL CEILING TILES AND GRID FRAMING (ACT-1)
802	5/8" GWB SOFFIT ON METAL STUD FRAMING, PAINTED
803	PROVIDE NEW 5/8" GWB OVER EXISTING CEILING, PAINTED
804	BOTTOM OF BULKHEAD AT 8'-10" A.F.F., PAINTED TO MATCH SOFFIT
805	EXISTING BULKHEAD TO REMAIN, PATCH AND PAINT AS REQUIRED
806	EXISTING SOFFIT TO REMAIN, PATCH AND PAINT ENTIRE AREA
807	SAFETY MIRROR (18" QUARTER-DOME ACRYLIC H-4098)
808	RELOCATE SECURITY CAMERA, COORDINATE WITH OWNER FOR FINAL LOCATION
809	SECURITY CAMERA BY OWNER
810	EXISTING AIR CURTAIN TO REMAIN
811	EXISTING EMERGENCY EXIT FIXTURE TO REMAIN
812	RELOCATE POWER JUNCTION BOX ABOVE NEW CEILING
813	EXISTING FIRE ALARM TO REMAIN
814	PROVIDE BLOCKING AS REQUIRED FOR NEW LIGHT FIXTURE SUPPORT
815	PROTECT AND REINSTALL CO2 UNIT
816	APPLY 2" (TO MATCH EXISTING) OF SPRAY-APPLIED FIREPROOFING MATERIAL TO EXISTING STRUCTURE AT FLOOR ABOVE, SEE SPECIFICATIONS. COORDINATE AREA WITH ASBESTOS REMOVAL, SEE SHEET AS101



1 Ground Floor Reflected Ceiling Plan
A800 SCALE: 1/4" = 1'-0"

STAMP:

Bid Set (RFB # 2022-19)

DATE: 06/13/2022

1

Reflected Ceiling Plan

Renovations To:

Schenectady COB Lobby
 Schenectady, NY

620 State Street

DRAWN BY: C2 Architecture

DATE: 04/27/2022

SCALE: AS NOTED

JOB NO: 2132

SHEET: **A800**

Door Schedule

Door No.	Location	DOOR							FRAME							Hardware	Rating	Comments	Door No.	
		Width	Height	Thk.	Material	Finish	Type	Glazing	Material	Finish	Type	Head	Jamb	Sill						
100	EXTERIOR / VESTIBULE 100	(2)	3'-0"	7'-0"	Ø-1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-		100
101	EXTERIOR / VESTIBULE 100		3'-0"	7'-0"	Ø-1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-		101
102	VESTIBULE 100 / LOBBY 101	(2)	3'-0"	7'-0"	Ø-1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-	NEW THRESHOLD, CUT THRESHOLD TO COORDINATE WITH FLOOR FINISH. SEE ELEVATION	102
103	VESTIBULE 100 / LOBBY 101		3'-0"	7'-0"	Ø-1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-	NEW THRESHOLD, CUT THRESHOLD TO COORDINATE WITH FLOOR FINISH. SEE ELEVATION	103
104	LOBBY 101 / CAFE	(2)	3'-0"	7'-0"	Ø-1 3/4"	ETR	ETR	ETR	TEMP	ETR	ETR	S2	ETR	ETR	ETR	ETR	ETR	-	SEE STOREFRONT ELEVATION - FOR ALTERNATE #1 AND #2	104
105	LOBBY 101 / OFFICE		3'-6"	7'-0"	Ø-1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-		105

Alternate #1 Hardware Schedule

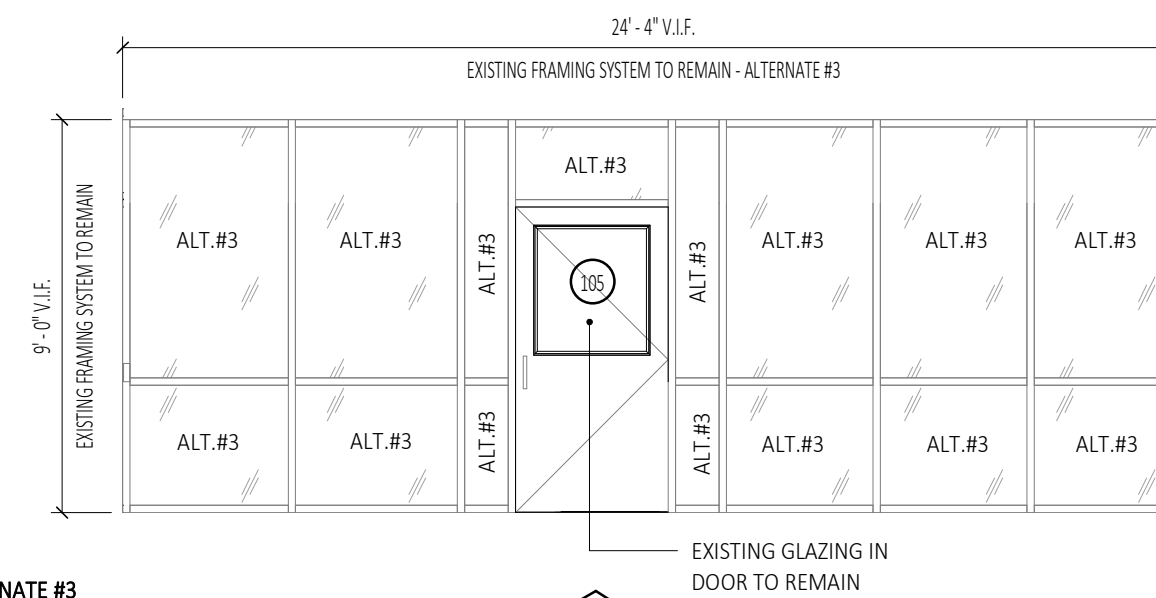
QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MANUFACTURER
2 EA	CONT. HINGE	112HD EPT	628	IVES
1 EA	RIM CYLINDER	20-057-ICX	626	SCHLAGE (COORDINATE WITH COUNTY)
1 EA	PERMANENT CORE	23-030	626	SCHLAGE
2 EA	PUSH/PULL BAR	9190-0	630	IVES
2 EA	OVERHEAD STOP	1005	630	GUNN JOHNSON
2 EA	SURFACE CLOSER	4050 EDA	689	LCN

NOTE: (3F)

3 FORM VARIA ECORESIN DECORATIVE PANELS 1/8" NOMINAL THICKNESS, STYLE DIGITAL PRINT "WENGE" W/ VELLUM F04 FINISH.

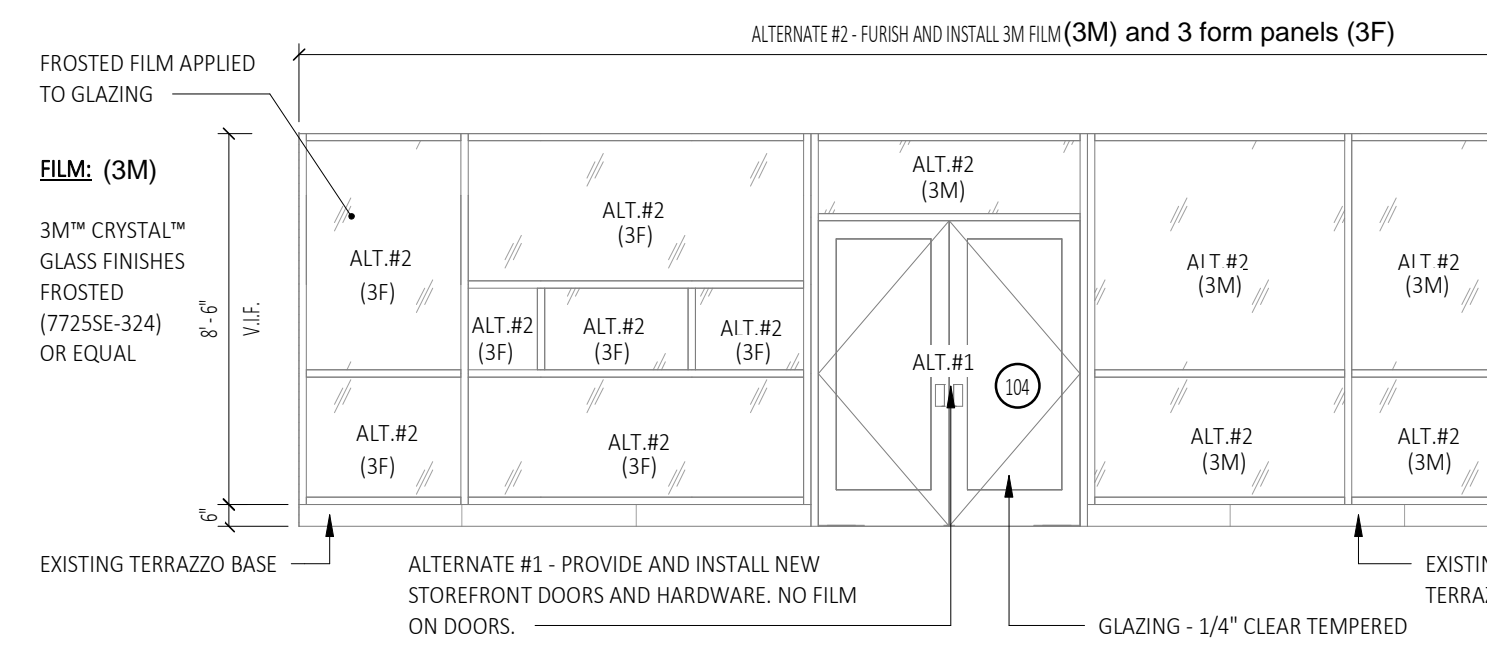
SUPPLY AND INSTALL "3FORM VARIA ECORESIN" DECORATIVE PANELS 1/8" NOMINAL THICKNESS, STYLE DIGITAL PRINT "WENGE" WITH VELLUM F04 FINISH. CUSTOM SIZE TO FIT FULL GLASS PANELS IN EXISTING STORE FRONT SYSTEM (V.I.F) WITH A MAX JOINT TO FRAME OF 1/16". ADHERE PANEL TO GLASS (LOBBY SIDE). USE 3M PRIMER 94 WITH VHB 4910 AND SILGLAZE II AS RECOMMENDED PER 3FORM MANUFACTURER INSTALLATION INSTRUCTIONS. TAPE EDGE BOARDER AND APPLY CLEAR SILICONE ALL AROUND AT FRAME AND PANEL EDGE. REMOVE ALL EXCESS SILICONE FROM FRAME AND PANEL FOR FINAL FINISH.

Storefront Types

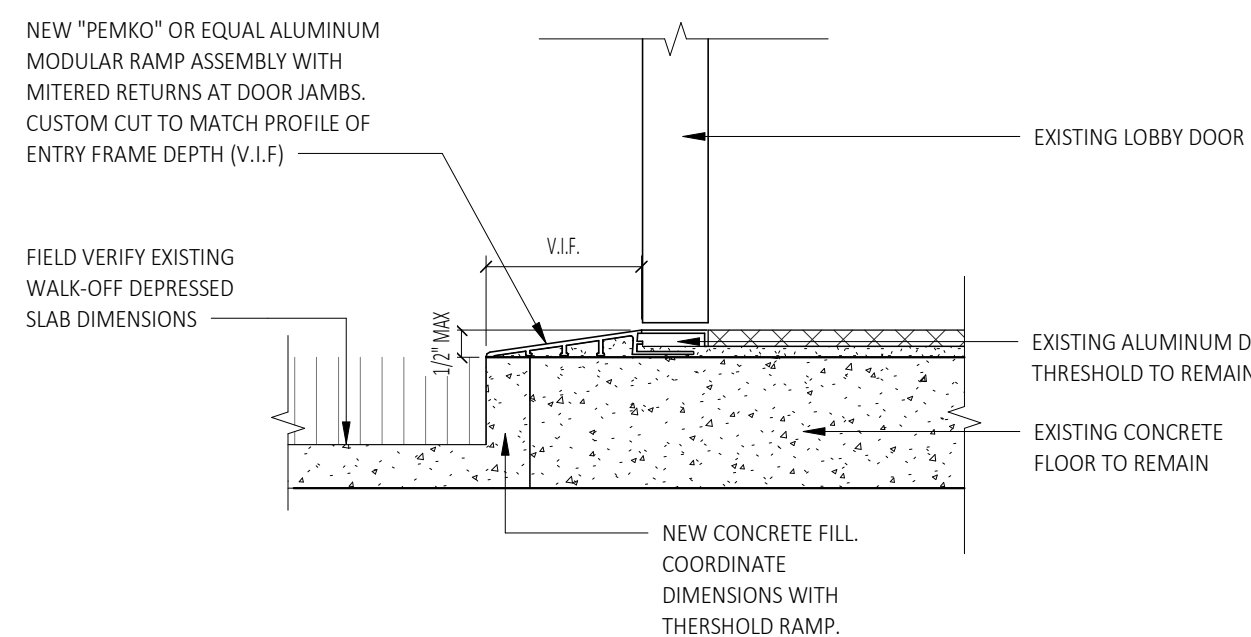


ALTERNATE #3

SUPPLY AND INSTALL "3FORM VARIA ECORESIN" DECORATIVE PANELS 1/8" NOMINAL THICKNESS, STYLE DIGITAL PRINT "WENGE" WITH VELLUM F04 FINISH. CUSTOM SIZE TO FIT FULL GLASS PANELS IN EXISTING STORE FRONT SYSTEM (V.I.F) WITH A MAX JOINT TO FRAME OF 1/16". ADHERE PANEL TO GLASS (LOBBY SIDE). USE 3M PRIMER 94 WITH VHB 4910 AND SILGLAZE II AS RECOMMENDED PER 3FORM MANUFACTURER INSTALLATION INSTRUCTIONS. TAPE EDGE BOARDER AND APPLY CLEAR SILICONE ALL AROUND AT FRAME AND PANEL EDGE. REMOVE ALL EXCESS SILICONE FROM FRAME AND PANEL FOR FINAL FINISH.



ALTERNATE #1 AND #2



4 A900 Floor Transition Detail (TS-2)
SCALE: 3" = 1'-0"

STAMP:

Bid Set (RFB # 2022-19)

DATE: 05/13/2022

1

Schedules

Renovations To:

Schenectady COB Lobby

620 State Street
Schenectady, NY

DRAWN BY: C2 Architecture

DATE: 04/27/2022

SCALE: AS NOTED

JOB NO: 2132

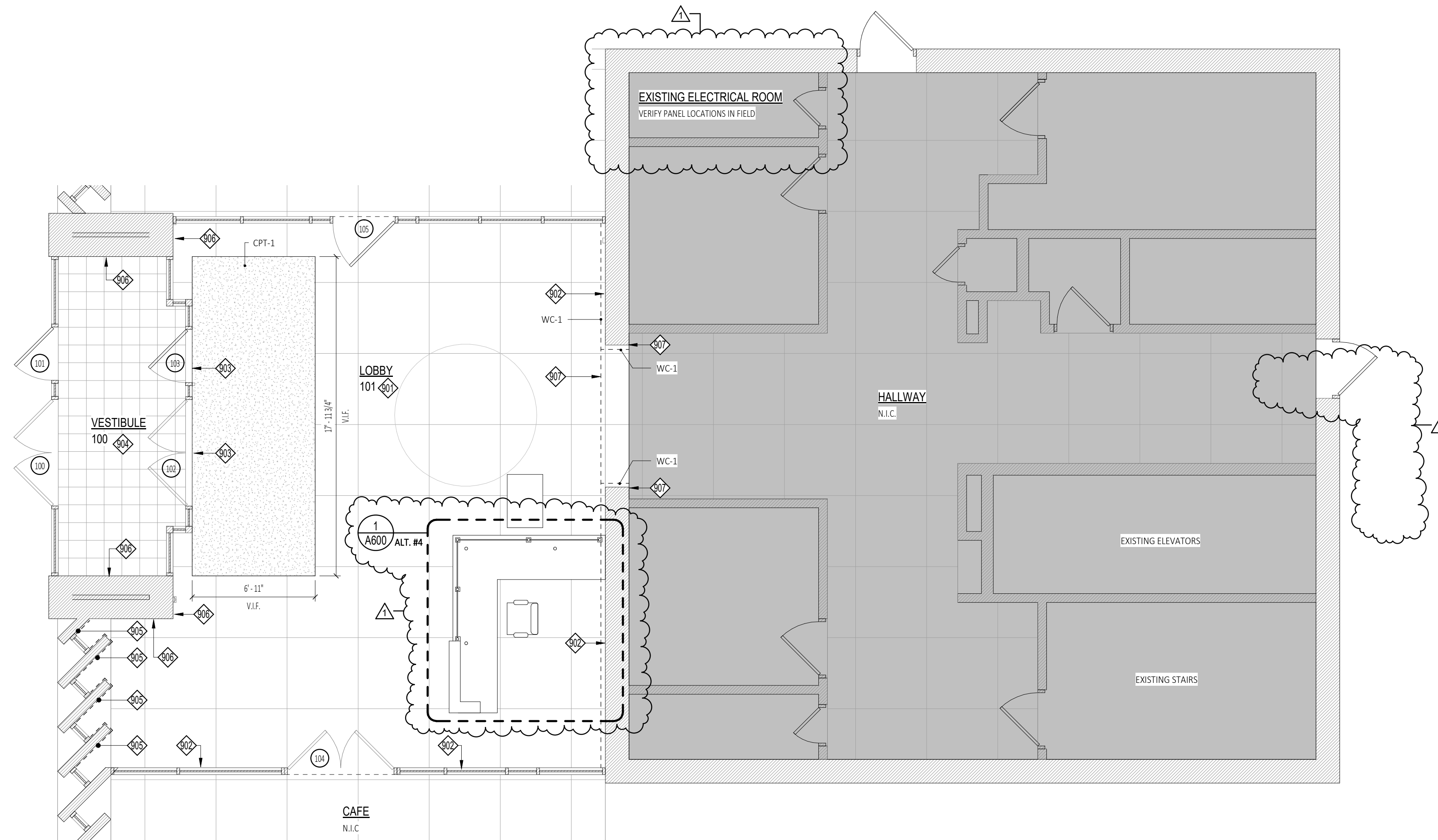
SHEET: **A900**

Finish Schedule																		
Room Number	Room Name	Floor		North Wall			East Wall			South Wall			West Wall			Ceiling		Comments
		Material	Finish	Material	Finish	Base	Material	Finish	Base	Material	Finish	Base	Material	Finish	Base	Material	Finish	
100	VESTIBULE	CONC	EX-TILE	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	GWB	PT-2	SEE FINISH PLAN
101	LOBBY	CONC	EX-TER/CPT-1	ETR	ETR	ETR	ETR	WC-1	EX-TER	ETR	ETR	EX-TER	ETR	ETR	ETR	ACT-L/GWB	PT-2	SEE FINISH PLAN

NOTE:
EX- PREFIX INDICATES EXISTING

Finish Legend				
Finish No.	Manufacturer	Series Style Color	Size	Location
ACOUSTICAL CEILING TILE				
ACT-1	USG	MARS HEALTHCARE HIGH-NRC PANELS 85/35 SLT 86257 FINE TEXTURED PANEL - WHITE	2' x 2' x 7/8"	
ACT-GRD	USG	DONN DX ACOUSTICAL SUSPENSION SYSTEM DONN DX/DXL 15/16" WHITE	15/16"	
CARPET TILE				
CPT-1	TARKETT	ASSERTIVE STRIA 04839 POWERBOND CUSHION CHROMIUM 26201	6' x 105" ROLL	
PAINT				
PT-1	SHERWIN WILLIAMS	CITY LOFT SW 7631 EG SHELL		FIELD
PT-2	SHERWIN WILLIAMS	SUMMIT GRAY SW 7669 FLAT		ACCENT CEILING
PT-3	SHERWIN WILLIAMS	EXTRA WHITE TBD FLAT		EXISTING SOFFITS AND BULKHEADS
PLASTIC LAMINATE				
PL-1	NEVAMAR	NEUTRAL GRAY S601T TEXTURED		SECURITY DESK
PL-2	NEVAMAR	WHISPERING WIND WX4600-VE VELVET FINISH		SECURITY DESK CABINETS
RUBBER BASE				
RB-1	ROPPE	700 SERIES STANDARD TOE 100 BLACK	6"	SECURITY DESK
SOLID SURFACE				
SS-1	CORIAN	CIRRUS WHITE		SECURITY DESK
SS-2	CORIAN	NATURAL GRAY		SECURITY DESK BASE
WALLCOVERING				
WC-1	WOLF GORDON / SYMPHONY	SISAL SONG SILVER SOLO AZ53457		LOBBY

Finish Plan Keynote Legend	
901	EXISTING TERRAZZO FLOOR TO REMAIN, CLEAN AND POLISH AS PER NOTES
902	EXISTING TERRAZZO BASE TO REMAIN, CLEAN AND POLISH AS PER NOTES
903	FLASH PATCH CARPET TO DOOR THRESHOLD AS REQUIRED FOR FLUSH TRANSITIONS. SEE THRESHOLD DETAILS ON A900
904	EXISTING FLOOR TILE TO REMAIN
905	EXISTING GRANITE WALLS TO REMAIN
906	EXISTING STONE WALL FINISH TO REMAIN



1 A901 First Floor Finish Plan
SCALE: 1/4" = 1'-0"

Finish Notes	
1. GENERAL:	<p>a. INTERIOR WALL AND CEILING FINISHES IN EXIT PASSAGEWAYS, CORRIDORS, AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS SHALL BE CLASS B (28-75 FLAME SPREAD INDEX; 0-450 SMOKE DEVELOPMENT INDEX) OR BETTER, WHEN TESTED IN ACCORDANCE WITH ASTM E84-2007 OR UL 723-2003</p> <p>b. INTERIOR WALL AND CEILING FINISHES IN SPACES OTHER THAN THOSE NOTED ABOVE SHALL BE CLASS C (76-200 FLAME SPREAD INDEX; 0-450 SMOKE DEVELOPMENT INDEX) OR BETTER, WHEN TESTED IN ACCORDANCE WITH ASTM E84-2007 OR UL 723-2003</p> <p>c. FLOOR FINISHES SHALL COMPLY WITH THE DOC FF-1 "PILL TEST" CPSC 160CFR PART 1630-3000</p> <p>d. GC TO PROVIDE TOILET SIGNAGE AS REQUIRED BY THE IBC CHAPTER 11 (AS AMENDED BY THE STATE BUILDING CODE), TITLE 24 2016 CBC PART 2 VOLUME 1 SECTION 11B (OR AS AMENDED BY THE STATE ACCESSIBILITY CODE) AND IPC 403.4 (OR AS AMENDED BY THE STATE PLUMBING CODE). REFERENCE ACCESSIBILITY SHEET FOR GENERAL MOUNTING HEIGHTS AND LOCATIONS</p> <p>e. REFERENCE LIFE SAFETY PLAN FOR NOTES RELATED TO COMBUSTIBLE MATERIALS AND PLYWOOD SUBSTRATES</p>
2. GENERAL WALL FINISH NOTES:	<p>a. WHERE EXISTING WALLS ARE TO BE RETAINED AND RE-USED, CONTRACTOR SHALL REPAIR, PATCH AND SAND WALLS AS REQUIRED TO MEET THE OWNERS INTENT AND ACCEPTABLE FOR INSTALLATION OF SPECIFIED FINISHES.</p> <p>b. ALL WALLS SHALL BE TAPED AND FINISHED TO A LEVEL 4 STANDARD. IT IS THE RESPONSIBILITY OF THE GC TO INSPECT WALLS AS TAPING AND PATCHING OCCURS TO MEET THE LEVEL 4 STANDARDS AS OUTLINED IN BY THE GWB BOARD MANUFACTURER STANDARDS FOR LEVELS OF DRYWALL, GLASS MAT AND GYPSUM PANEL FINISH. IF THE OWNER FINDS A WALL TO BE UNSATISFACTORY—THE CONTRACTOR SHALL REPAIR THE WALL TO AN ACCEPTABLE LEVEL 4 STANDARD AT THE CONTRACTORS COST</p> <ul style="list-style-type: none"> FINAL APPEARANCE: NO MARKS OR RIDGES, READY FOR PRIMING JOINTS AND INTERIOR ANGLES: MINIMUM OF 2 SEPARATE COATS OF COMPOUND ABOVE LEVEL 2 APPLICATION ACCESSORIES & FASTENERS: THREE SEPARATE COATS OF COMPOUND SURFACE: JOINTS FILLED AND SMOOTHED AGAIN. SHALL BE PRIMED WITH CGC FIRST COAT BEFORE PAINTING OR TEXTURING <p>c. PROVIDE CONTROL JOINTS IN WALLS WHICH EXTEND 30' OR GREATER IN LENGTH WITHOUT A JOINT. COORDINATE FINAL LOCATION WITH ARCHITECT.</p>
3. GENERAL PAINTING NOTES:	<p>a. PAINTS, COATINGS AND PRIMERS APPLIED TO INTERIOR WALL AND CEILINGS SHALL NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED IN GREEN SEAL STANDARD GS-11 PAINTS, FIRST EDITION MAY 20, 1993.</p> <ul style="list-style-type: none"> FLATS 50 G/L NON-FLATS 150 G/L <p>b. ANTI-CORROSIVE AND ANTI-RUST PAINTS APPLIED TO INTERIOR FERROUS METAL SUBSTRATES SHALL NOT EXCEED THE VOC LIMIT OF 250 G/L ESTABLISHED IN THE GREEN SEAL STANDARD GC-02, ANTI-CORROSIVE PAINTS, SECOND EDITION JANUARY 7, 1997</p> <p>c. PROVIDE GRAY WALL PRIMER FOR DARK AND HEAVILY SATURATED COLORS</p> <p>d. REFERENCE FINISH LEGEND FOR PAINT SELECTION SPECIFICATIONS</p>
4. WALLCOVERING NOTES:	<p>a. ALL WALLS TO RECEIVE A WALL COVERING FINISH SHALL BE FINISHED TO A LEVEL 4 MINIMUM STANDARD</p> <p>b. WALL COVERING SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS</p> <p>c. CERTAIN COVERINGS CONTAIN AN 'A' AND 'B' PATTERN INSTALLATION. PROVIDE MOCK UP</p>
5. FLOORING NOTES:	<p>a. FLOORS SHALL BE FLASH PATCHED TO ALLOW FOR FLUSH TRANSITIONS BETWEEN DISSIMILAR MATERIALS.</p>

Terrazzo Notes	
REFINISH - STRIP EXISTING TERRAZZO SEALER	
REFINISH - 1ST PASS - GRIND - 150	
REFINISH - 2ND PASS - GRIND - 100 CERAMIC	
REFINISH - 3RD PASS - GRIND - 200 CERAMIC	
REFINISH - 4TH PASS - GRIND - 400 CERAMIC	
REFINISH - 5TH PASS - GRIND - 800 CERAMIC	
SEAL FLOOR - (2) COATS WATER BASED "PLAZA" PLUS SEALER BURNISH BETWEEN COATS	

STAMP:

Bid Set (RFB # 2022-19)

DATE: 06/13/2022

1

Finish Schedule

Renovations To:

Schenectady COB Lobby

620 State Street
Schenectady, NY

DRAWN BY: C2 Architecture

DATE: 04/27/2022

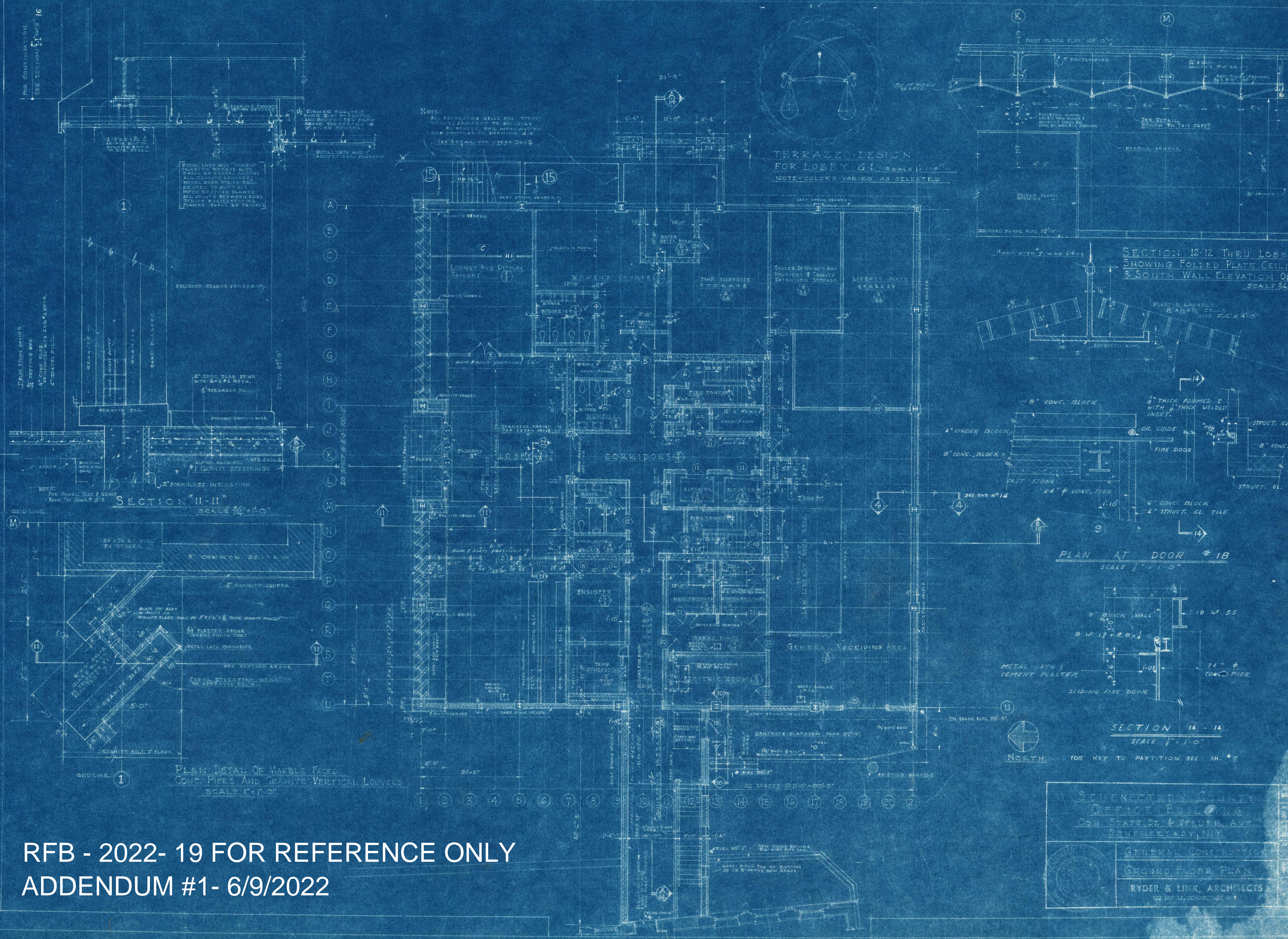
SCALE: AS NOTED

JOB NO: 2132

SHEET:

A901

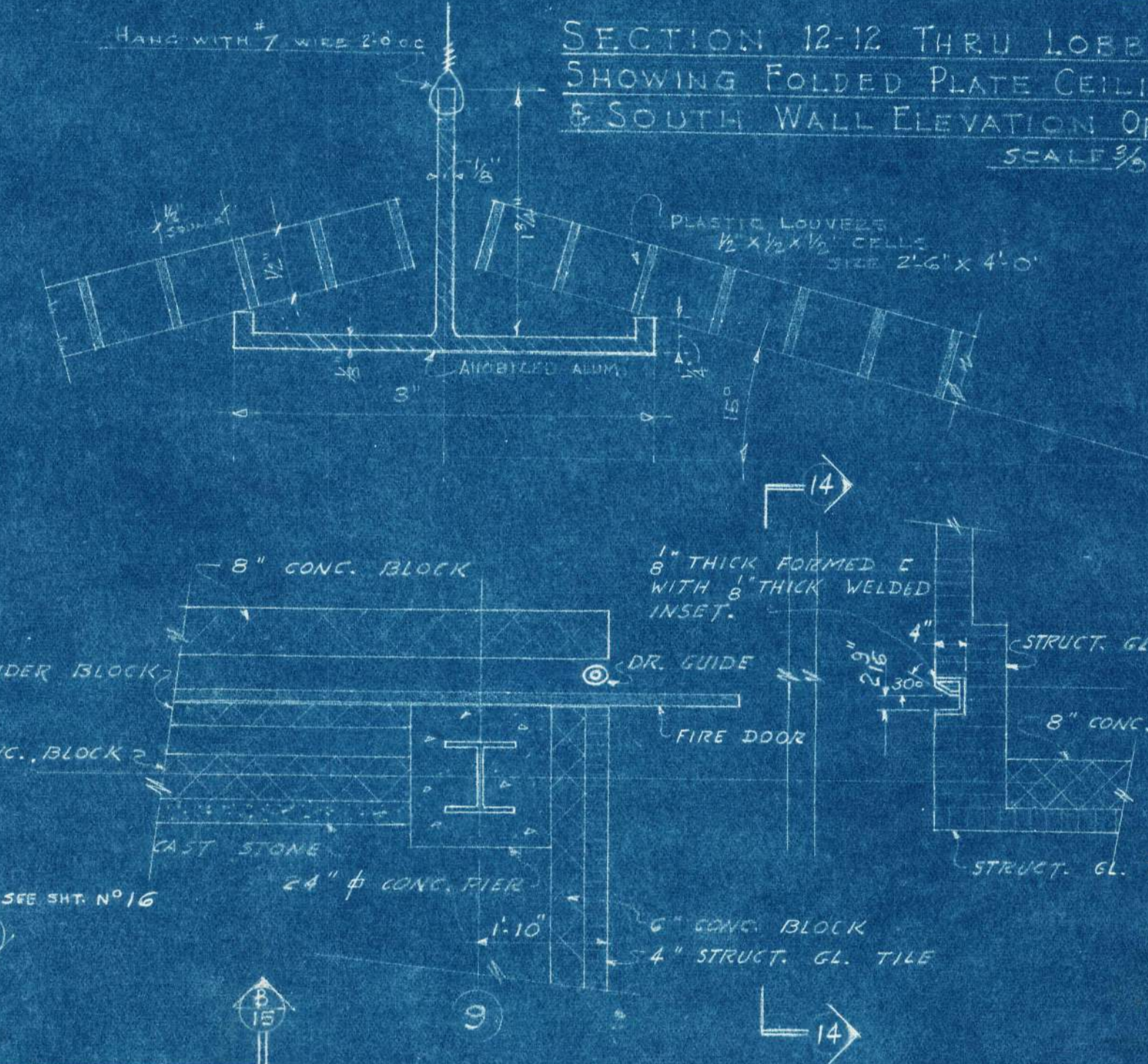
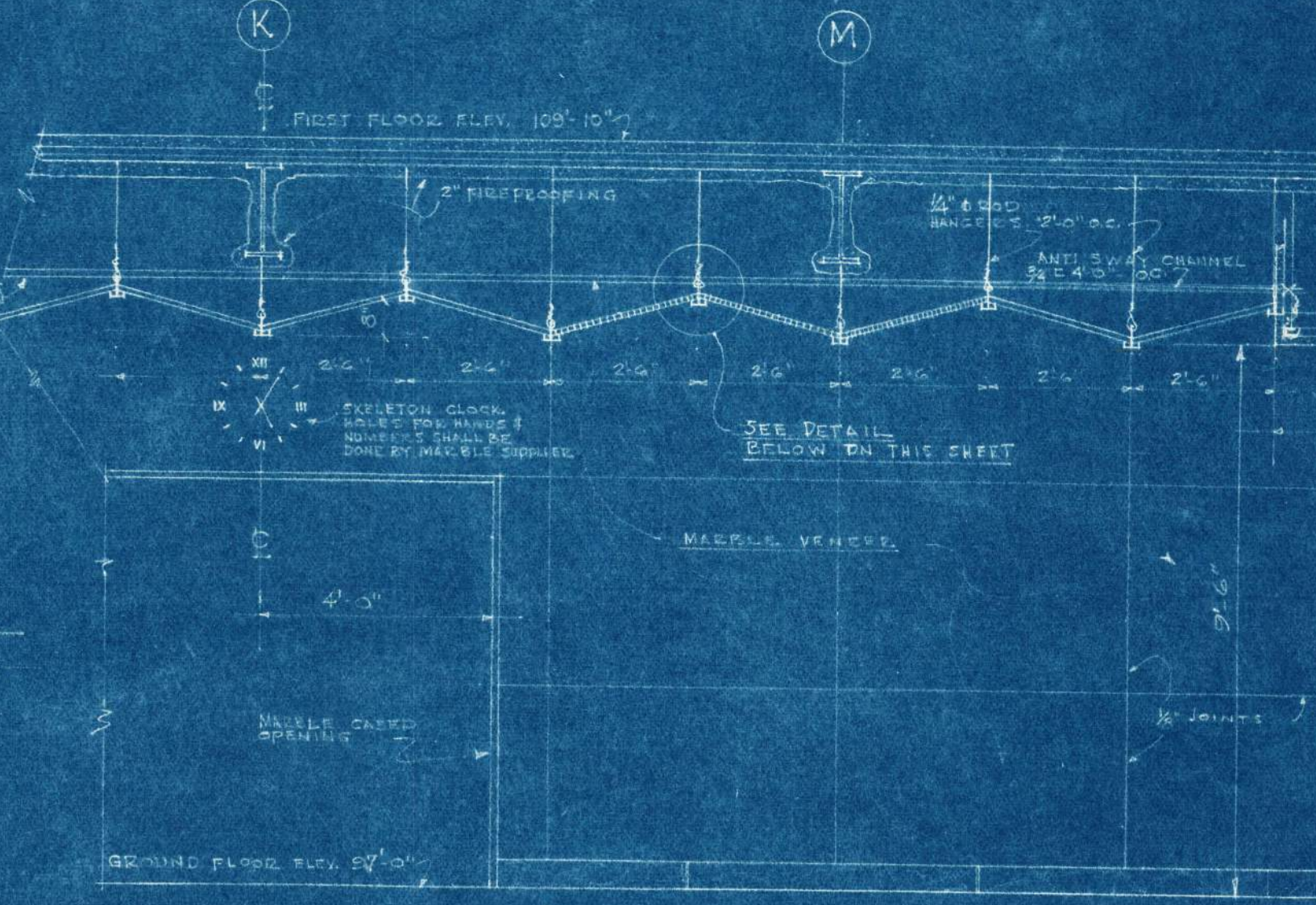
FOR CONTINUATION
SEE SECTION 11-11



METAL LATH AND CEMENT PLASTER SHALL BE SHAPED ALONG ALL GRANITE EDGES. METAL LATH STRIPS SHALL BE USED TO FIT ALL INTERSECTIONS. ALL JOINTS BETWEEN EDGES SHALL BE INTERSECTING. FINISH SHALL BE GRAY.

NOTE: ALL FOUNDATION WALLS FOR STAIRS SHALL BE ADJACENT TO BUILDING BY OTHERS. FOR INFORMATION SEE FOUNDATION DRAWING 4-F. SEE DETAIL FOR STEPS D-2.

TERRAZZO DESIGN FOR LOBBY G1 SCALE 1/4" = 1'-0"
NOTE - COLORS VARIED AS SELECTED



SECTION 11-11 SCALE 3/4" = 1'-0"

PLAN DETAIL OF MARBLE FACED CONC. PIERS AND GRANITE VERTICAL LOUVERS SCALE 1" = 1'-0"

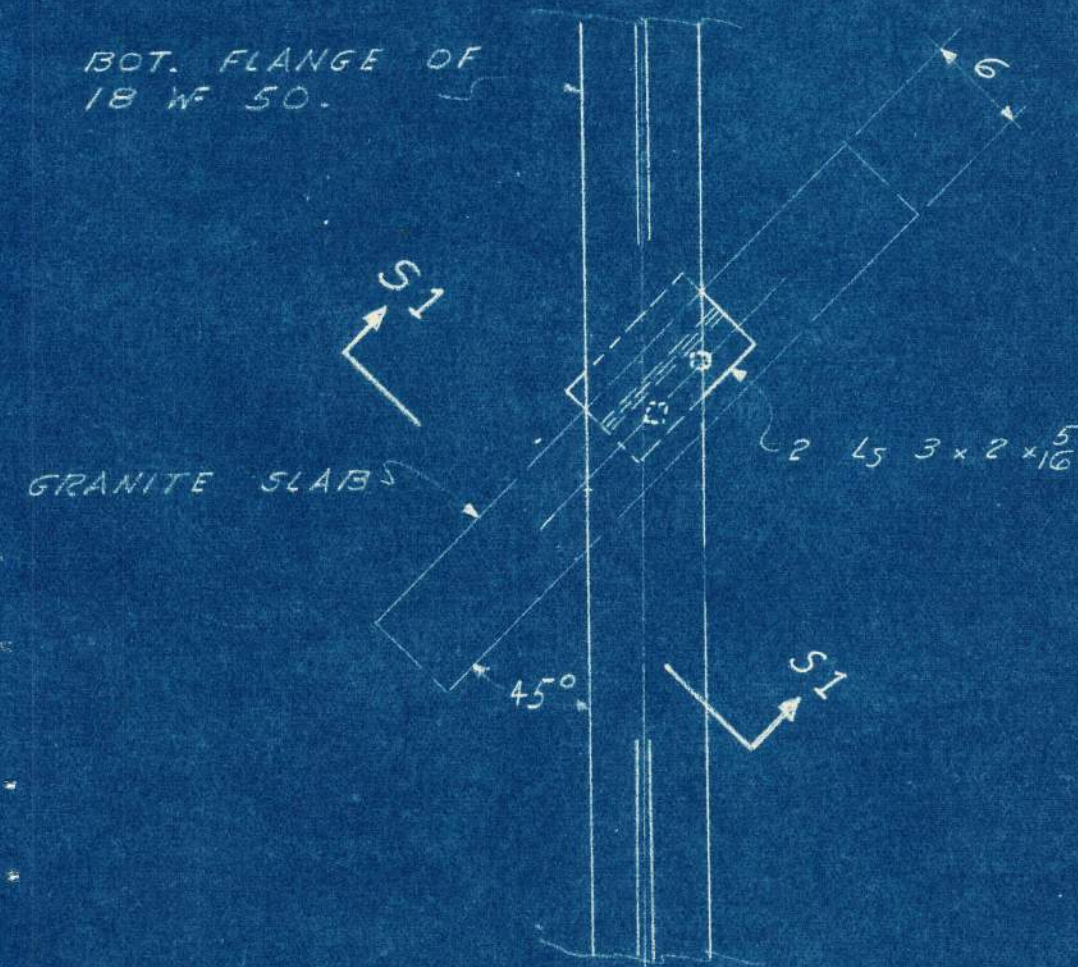
SECTION 14-14 SCALE 1/2" = 1'-0"

SCHENECTADY COUNTY
OFFICE BUILDING
COR. STATE ST. & VEEDER AVE.
SCHENECTADY, N.Y.

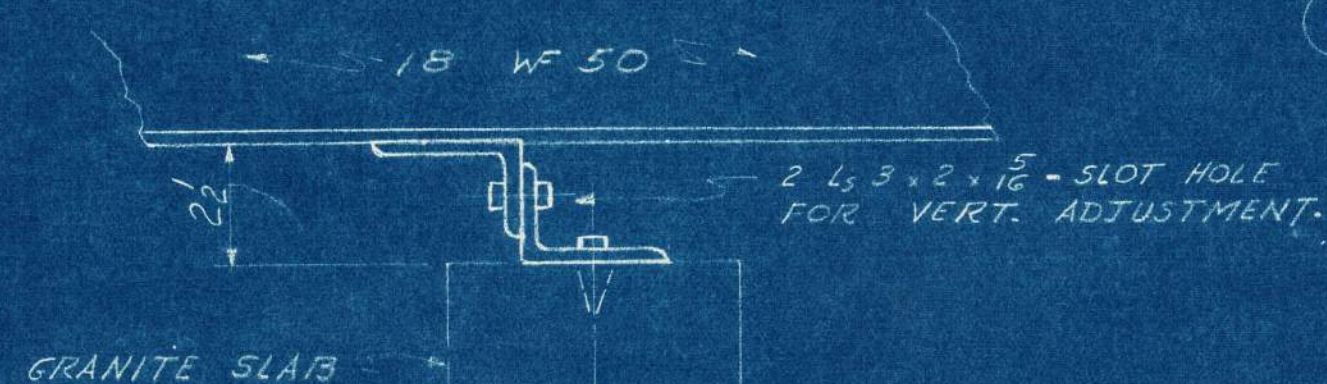
GENERAL CONSTRUCTION
GROUND FLOOR PLAN
RYDER & LINK, ARCHITECTS
122 JAY ST., SCHENECTADY, N.Y.

RFB - 2022- 19 FOR REFERENCE ONLY
ADDENDUM #1- 6/9/2022

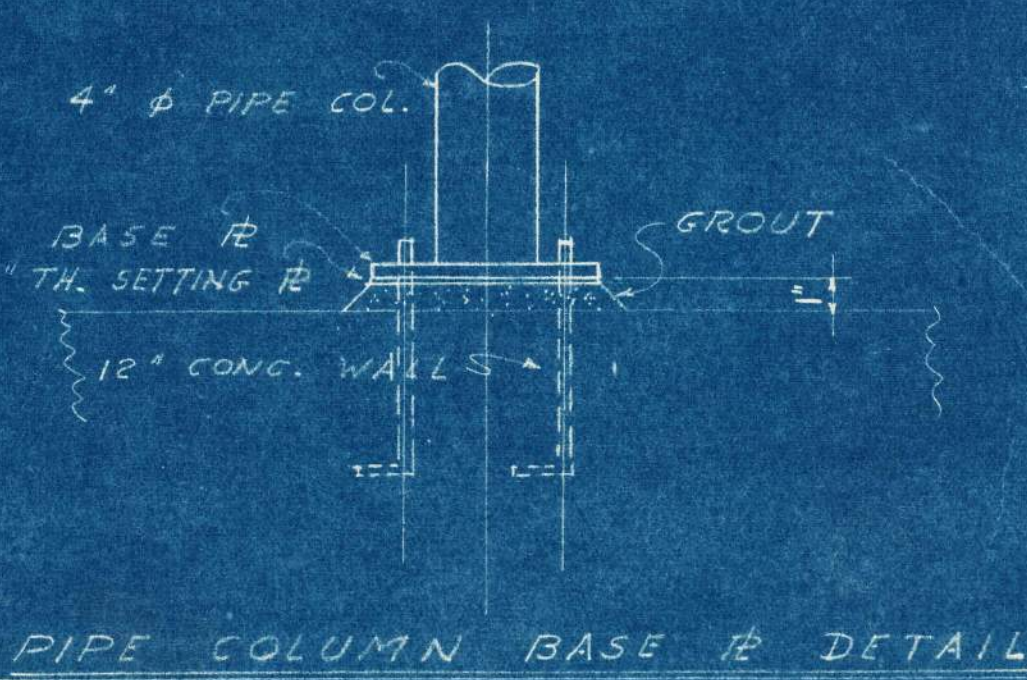
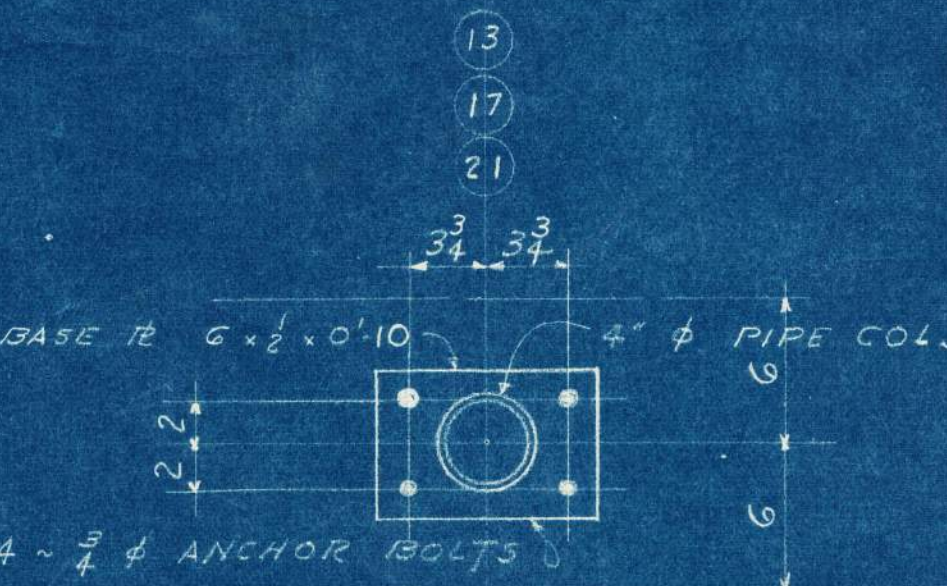
BOT. FLANGE OF 18 WF 50.



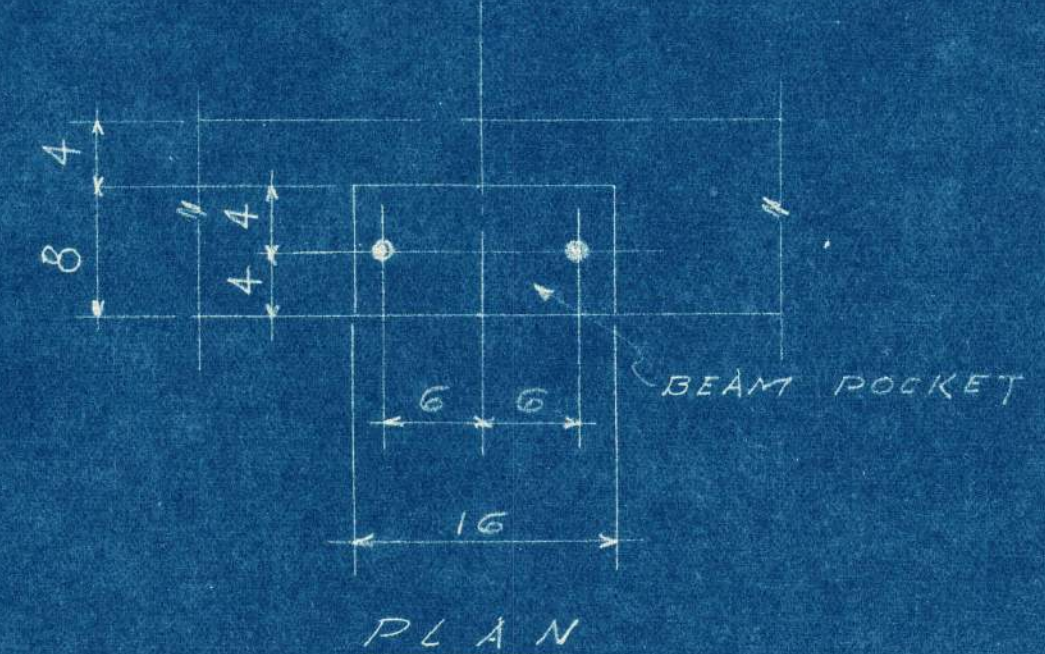
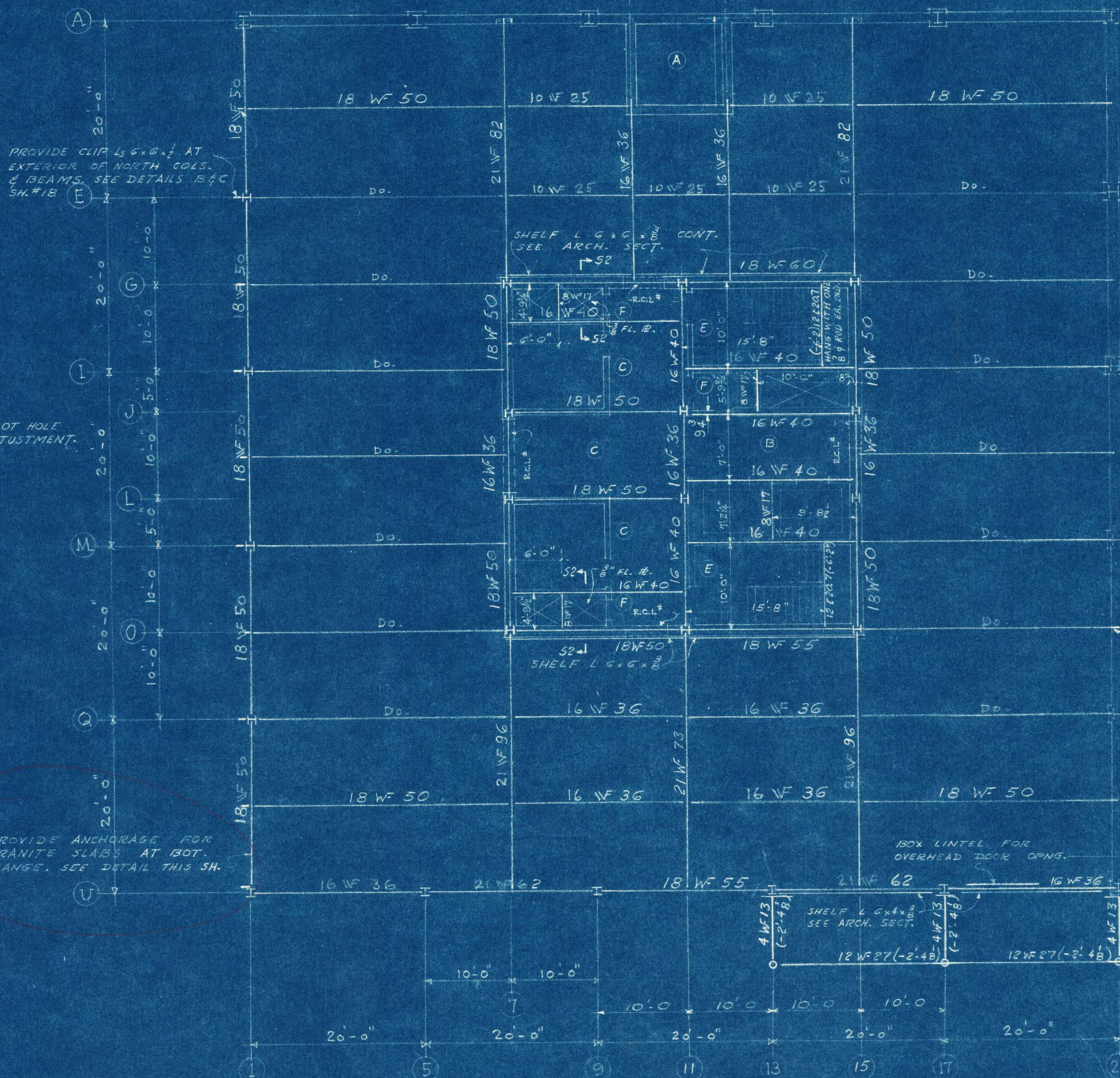
PLAN - SHOWING TOP ANCHORAGE FOR GRANITE SLABS AT LINE #1 FOR LOCATION & SPACING SEE SH. # 3. SCALE 1" = 1'-0"



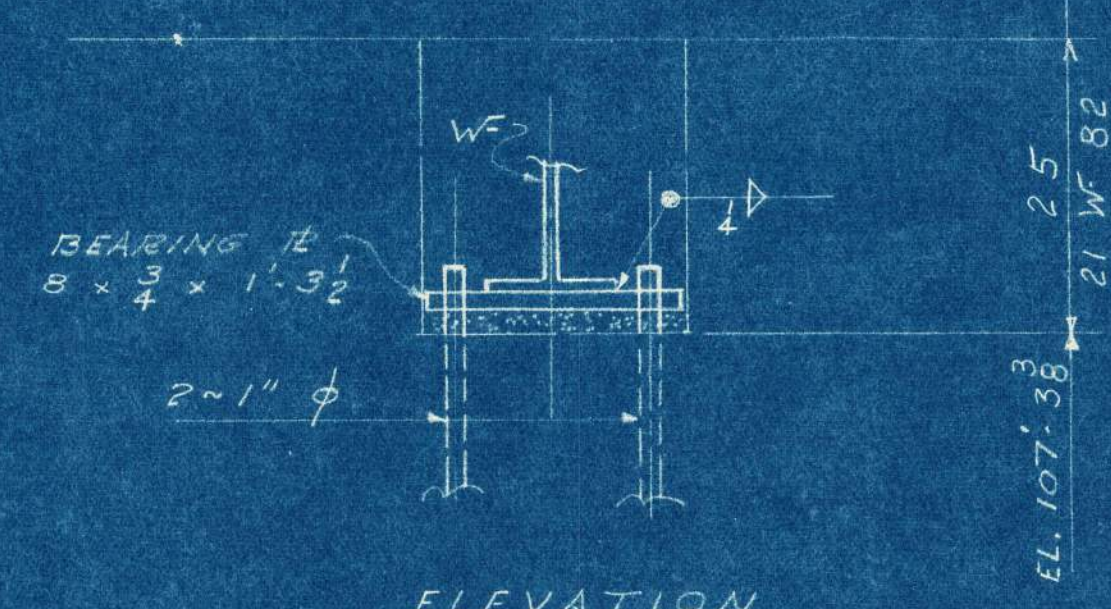
SECTION 51-51 SCALE 3" = 1'-0"



PIPE COLUMN BASE # DETAIL



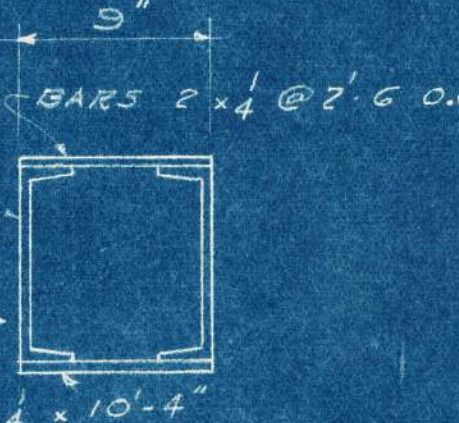
PLAN



ELEVATION

BEAM POCKET DETAIL (VERIFY DIMENSIONS AT SITE)

PROVIDE GOVT. ANCHORS AT WALL BEARING 18 WF 50 BEAMS.



FLOOR SLAB SCHEDULE		
SLAB TYPE	REINF. ROD #	CENTERS
A	1/2"	10"
B	1/2"	8 1/2"
C	1/2"	7"
D	1/2"	6"
E	1/2"	5 1/2"
F	3/8"	6"

TRANSVERSE RODS ALL SLABS TO BE 3/8" @ 18" O.C.

DUCT CUTOUT SCHEDULE (SEE DETAILS SH. #18)

TYPE	QTY.	D	W	WF BEAM
A	4	8	14	21 WF 82
A	3	8	14	16 WF 36
A	8	10	20	18 WF 50
A	8	10	12	18 WF 50
B	2	10	26	16 WF 36
B	4	8	26	18 WF 50
A	1	10	10	16 WF 40
A	1	10	10	18 WF 50
B	2	10	30	16 WF 40
B	1	10	35	16 WF 36
A	1	10	10	21 WF 73
B	1	14	24	18 WF 50

RFB - 2022- 19 FOR REFERENCE ONLY
ADDENDUM #1- 6/9/2022

SCHENECTADY COUNTY
OFFICE BUILDING
COR. STATE ST. & VEEDER AVE.
SCHENECTADY, N.Y.

REGISTERED ARCHITECT
RYDER & LINK, ARCHITECTS
122 BAY ST. SCHENECTADY, N.Y.



Schenectady County Office of Facilities
SCHENECTADY COB LOBBY
RFB-2022-19
Pre-Bid Walk Through

Name:	Company:	Phone:	Email:
Graham Henderson	Duncan Cahill	(518) 774-3631	ghenderson@duncan Cahill.com
Aris Cleveland	MJS Contracting Services	315-202-4006	ariscleveland@mjsi.com
Kyle Davidson	Gallo Construction	914-419-9341	kda Davidson@Gallogc.com
Taylor Oldroyd	ADW Taping & Supply Inc.	(315) 921-0129	toldroyd@adw-drywall.com